



TOWNHOMES AT STANTON SQUARE

APPLICATION TO THE DISTRICT OF COLUMBIA ZONING COMMISSION FOR
 CONSOLIDATED REVIEW AND APPROVAL OF A PLANNED UNIT DEVELOPMENT
 AND ZONING MAP AMENDMENT

APPLICANTS: **HORNING BROTHERS, INC.**
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DEVELOPMENT TEAM

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 WASHINGTON, DC 20037

DATE : March 08, 2007

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ZONING COMMISSION
 District of Columbia

CASE NO. 05-35
 EXHIBIT NO. 17A

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 District of Columbia
 CASE NO. 05-35
 EXHIBIT NO. 17A



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PERSPECTIVE CENTRAL GREEN

MARCH 08, 2007

TOWNHOMES AT STANTON SQUARE
 WASHINGTON DC.

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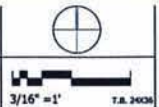
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STREETSCAPE ELEVATION

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A 002



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STREETSCAPE ELEVATION

MARCH 08, 2007

TOWNHOMES AT STANTON SQUARE

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3/16" = 1'
T.B. 2008

A 003

Tabulation of Development Data		
Requirement	R-5-A PUD Guidelines/ Matter of Right	Project Design
FAR	1.0 (PUD) 0.9 MOR	0.9
Building Height	60 feet (PUD) 40 feet (MOR)	28'-6" to ceiling 40'-3" to top of ridge max eight from slab
Building Lot Occupancy	40%	30.90% (109,173 s.f.)
Gross Floor Area	353,256 s.f. x 1.0 FAR Total: 353,256 S.f. (PUD) 353,256 s.f. x 0.9 FAR Total: 317,930 s.f. (MOR)	Total: 317,438 s.f.
Parking	187 spaces, one for each residential unit	243 total spaces 1.27 spaces per unit on site

UPPER & LOWER UNIT MIX					
Unit Type	UPPER	LOWER	Total	Parking	
A-14'x36' 2-story	5	15	20	0	
B-14'x36' RL	16	26	42	42	
C-16'x36' RL	13	33	46	46	
C-16'x36' FL	3	4	7	7	
D-18'x36' RL	20	26	46	92	
D-18'x36' FL	4	9	13	26	
E-20'x36' SL/RL	5	8	13	24	Parking ratio
Total	66	121	187	237	1.27
On site Street parking	9	27		36	

Unit Type	Gross S.F.	Net S.F. w/ garage	Net s.f. w/ 1 car 3 br	Total unit	Gross S.F./ Total Building Lot occupancy	
A-14'x36' 2-story	1,008.00				20,160.00	10,080.00
B-14'x36' RL	1,512.00	1136 s.f.	1316 s.f.		63,504.00	21,168.00
C-16'x36' RL	1,728.00	1324 s.f.	1504 s.f.		79,488.00	26,496.00
C-16'x36' FL	1,700.00	1451 s.f.			11,900.00	3,966.67
D-18'x36' RL	1,944.00	1662 s.f.			89,424.00	29,808.00
D-18'x36' FL	1,914.00	1614 s.f.			24,882.00	8,294.00
E-20'x36' SL/RL	2,160.00	1812 s.f.			28,080.00	9,360.00
Total						Total building occ.
						109,172.67
						30.90% Building occ %
	Lot Area	353,256.00	Building area	317,438.00	0.90	F.A.R.



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TABULATION DATA

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TOWNHOMES AT STANTON SQUARE

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T.B. 2008

A 004



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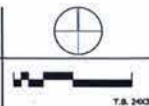
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A 010

T.A. 24036



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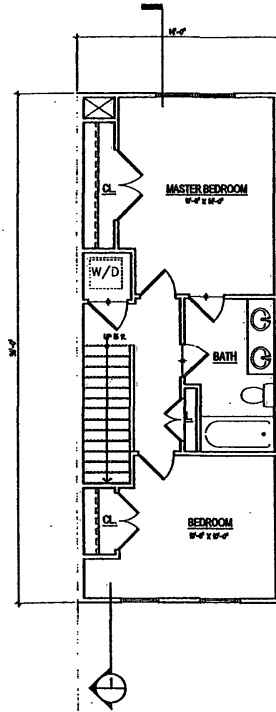
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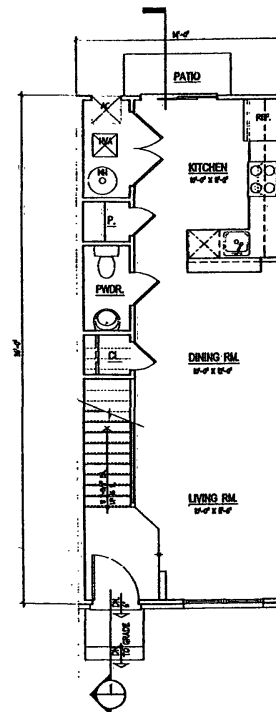


A 011

T.B. 24038



2 Second Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. @ 11'-0"
 AREA: 91 SQ.FT.



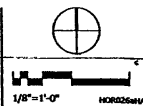
1 Ground Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 9'-1-1/2"
 AREA: 87.5 SQ.FT. HCH: 36.5 SQ.FT.
 TOTAL NET AREA: 148.5 SQ.FT.



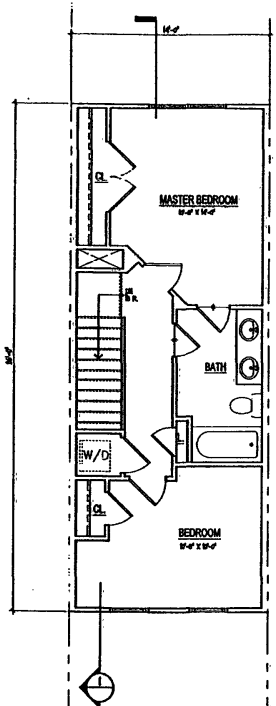
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FLOOR PLANS
 UNIT "A" 14' T.H.
 JANUARY 30, 2007

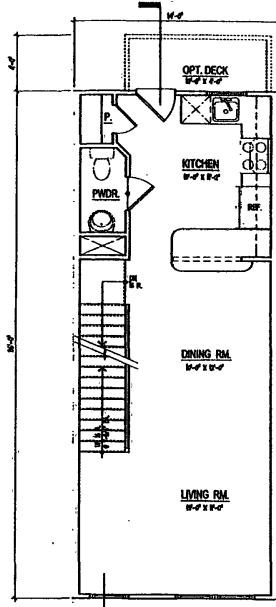
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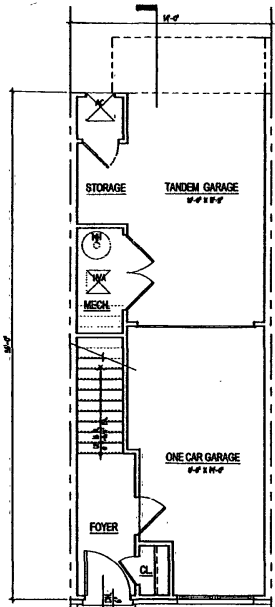
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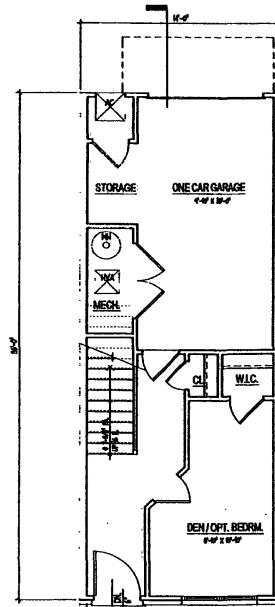
4 Third Floor Plan
 SCALE: 1/4"=1'-0"
 AREA: 475.5 SQ.FT. CEILING HT. 9'-1-1/8"



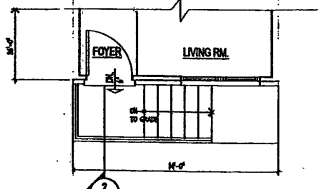
3 Second Floor Plan
 SCALE: 1/4"=1'-0"
 AREA: 394 SQ.FT. OPT. DECK: 96 SQ.FT. CEILING HT. 9'-1-1/8"



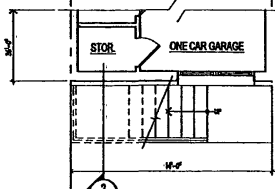
2 Ground Floor Plan - w/ Opt. Tandem Garage
 SCALE: 1/4"=1'-0"
 AREA: 580 SQ.FT. MECH: 51 SQ.FT. GARAGE: 376 SQ.FT. CEILING HT. 9'-1-1/8"
 TOTAL NET AREA: 1007.5 SQ. FT.



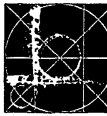
1 Ground Floor Plan
 SCALE: 1/4"=1'-0"
 AREA: 523 SQ.FT. MECH: 41 SQ.FT. GARAGE: 211 SQ.FT. CEILING HT. 9'-1-1/8"
 TOTAL NET AREA: 1233.5 SQ.FT.



3a Second Floor Plan - w/ Opt. English Basement
 SCALE: 1/4"=1'-0"
 AREA: 394 SQ.FT. CEILING HT. 9'-1-1/8"



2a Ground Floor Plan - w/ Opt. English Basement
 SCALE: 1/4"=1'-0"
 AREA: 394 SQ.FT. MECH: 41 SQ.FT. GARAGE: 211 SQ.FT. CEILING HT. 9'-1-1/8"
 TOTAL NET AREA: 1005.5 SQ.FT.



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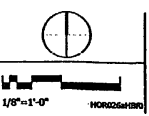
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FLOOR PLANS
 UNIT "B" 14' T.H.

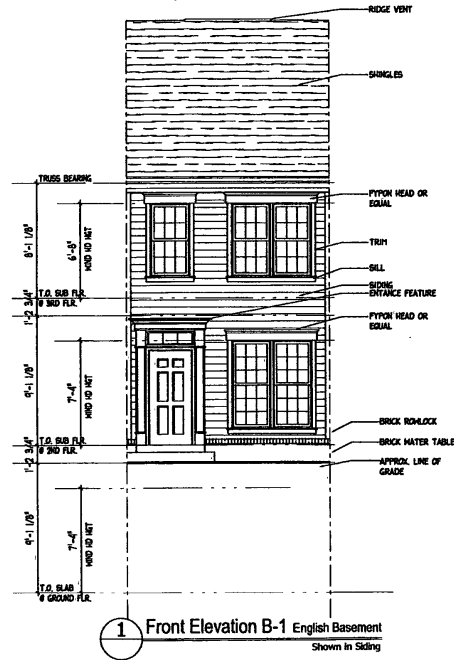
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ELEVATIONS

UNIT "B" 14' TH

MARCH 08, 2007

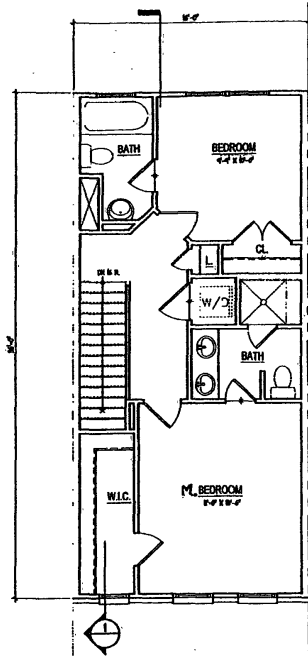
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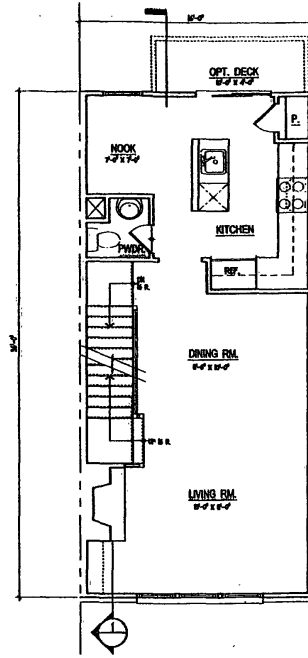


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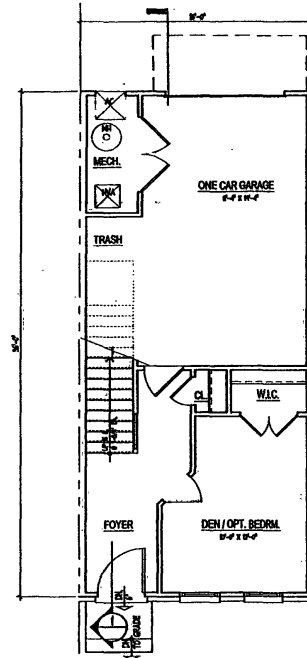
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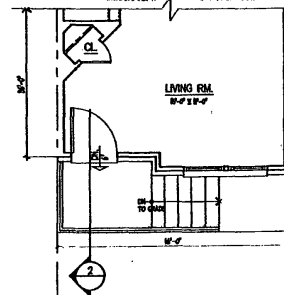
3 Third Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 8'-1-1/2"
 AREA: 525.5 SQ.FT.



2 Second Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 8'-1-1/2"
 AREA: 575 SQ.FT. OPT. DECK: 49 SQ.FT.



1 Ground Floor Plan
 SCALE: 1/4"=1'-0"
 CEILING HT. 8'-1-1/2"
 AREA: 385 SQ.FT. MECH. 39 SQ.FT. GARAGE: 274.5 SQ.FT.
 TOTAL NET AREA: 1377.5 SQ.FT.



2a Second Floor Plan - w/ Opt. English Basement
 SCALE: 1/4"=1'-0"
 CEILING HT. 8'-1-1/2"
 AREA: 385 SQ.FT.
 TOTAL NET AREA: 1045.5 SQ.FT.



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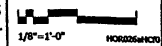
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FLOOR PLANS
 UNIT "C" 16' T.H.

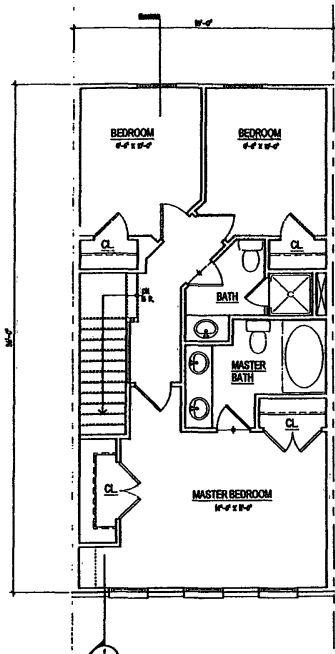
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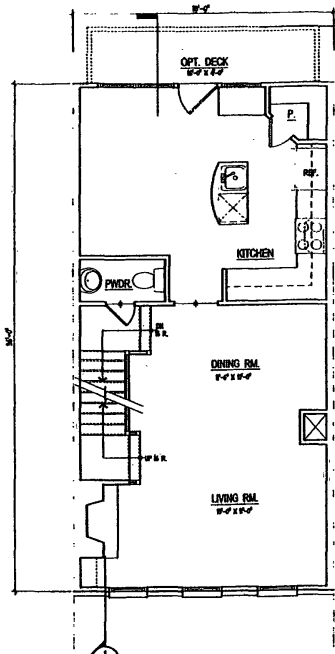
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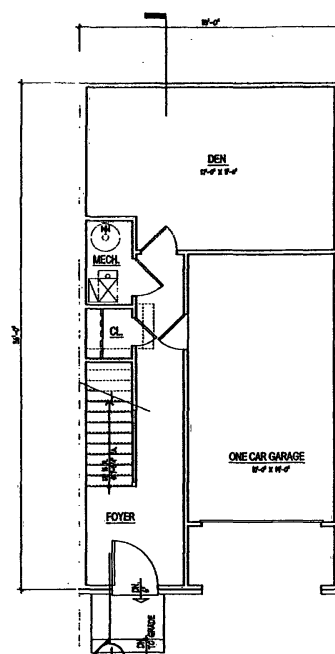
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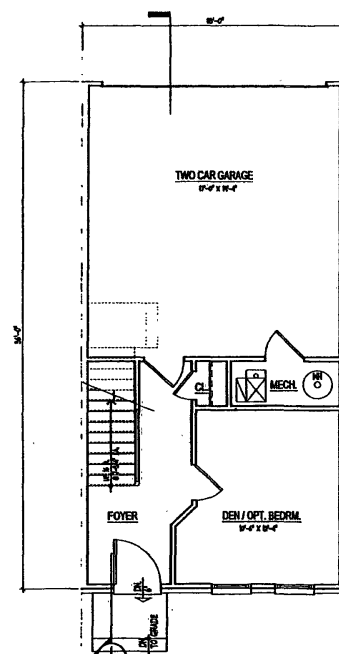
4 Third Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 8'-1-1/2"
 AREA: 628 SQ.FT.



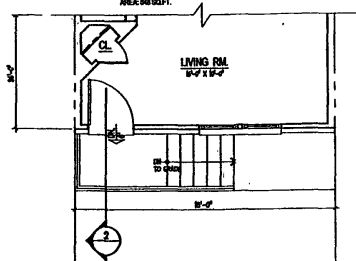
3 Second Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/2"
 AREA: 588 SQ.FT.



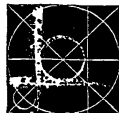
2 Ground Floor Plan w/ Front Load
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/2"
 AREA: 388 SQ.FT. MECH: 19 SQ.FT. GARAGE: 249 SQ.FT.
 TOTAL AREA: 1656 SQ.FT.



1 Ground Floor Plan w/ Rear Load
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/2"
 AREA: 388 SQ.FT. MECH: 19 SQ.FT. GARAGE: 353 SQ.FT.
 TOTAL NET AREA: 1522 SQ.FT.



3a Second Floor Plan - w/ Opt. English Basement
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/2"
 AREA: TOTAL AREA.



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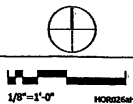
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FLOOR PLANS
 UNIT "D" 18' T.H.

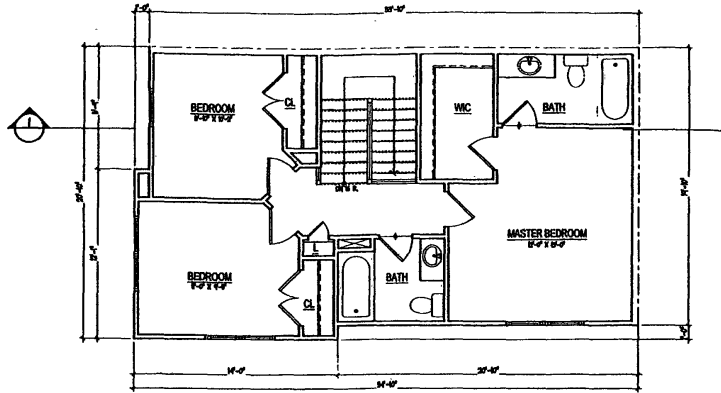
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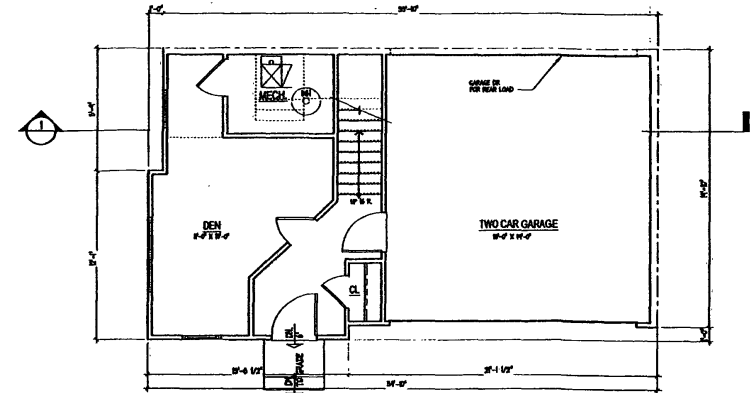
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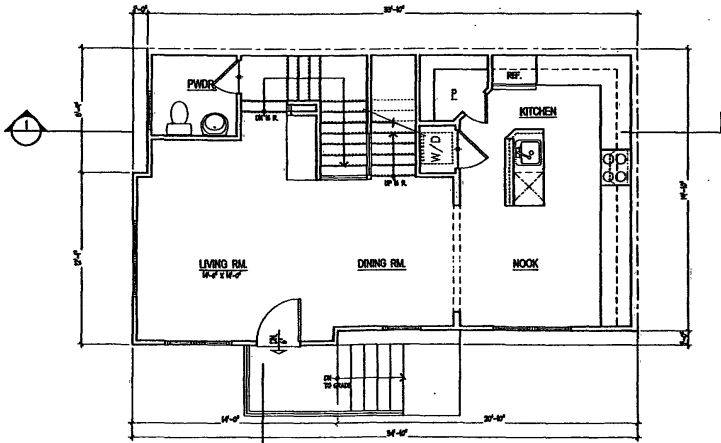
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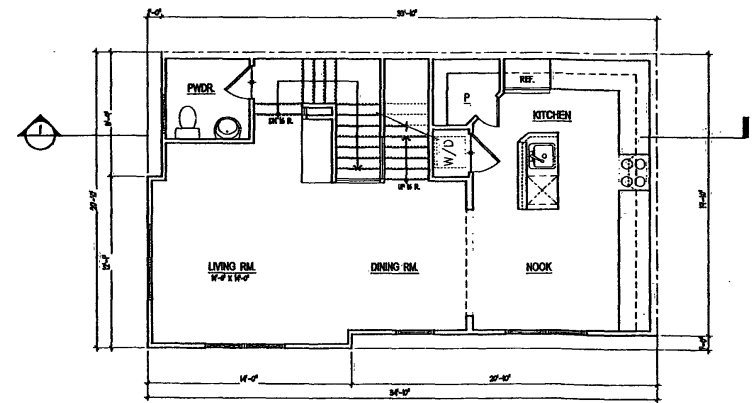
3 Third Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/8"
 AREA: 630 SQ. FT.



1 Ground Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/8"
 AREA: 233 SQ. FT. MECH. 35 SQ. FT. GARAGE: 380 SQ. FT.
 TOTAL NET AREA: 1624 SQ. FT.



4 Second Floor Plan w/ Opt. English Basement
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/8"
 AREA: 686 SQ. FT.



2 Second Floor Plan
 SCALE: 1/4"=1'-0" CEILING HT. 9'-1-1/8"
 AREA: 686 SQ. FT.



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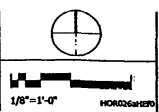
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FLOOR PLANS
 UNIT "E" 20' T.H.

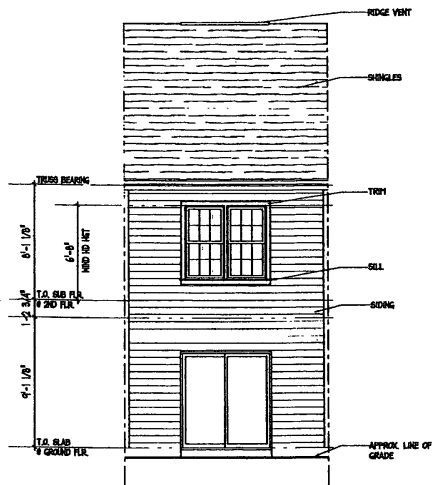
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TOWN HOMES AT
STANTON SQUARE

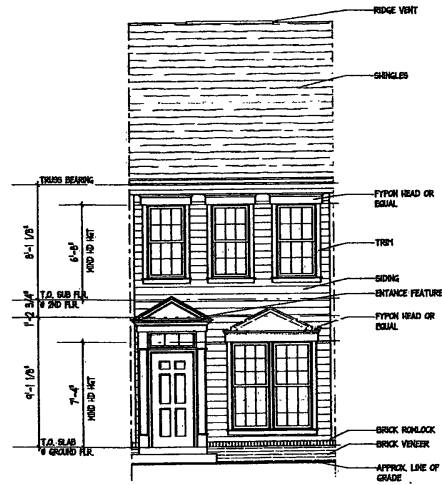
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 HOR.026A.00G.



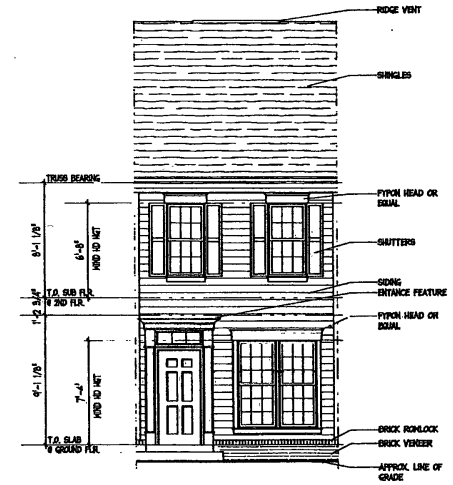
A.140



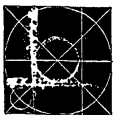
3 Rear Elevation Unit A



2 Front Elevation A-2 2 Story Slab on Grade
Shown in Siding



1 Front Elevation A-1 2 Story Slab on Grade
Shown in Siding



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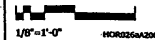
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ELEVATIONS UNIT "A" 14' TH

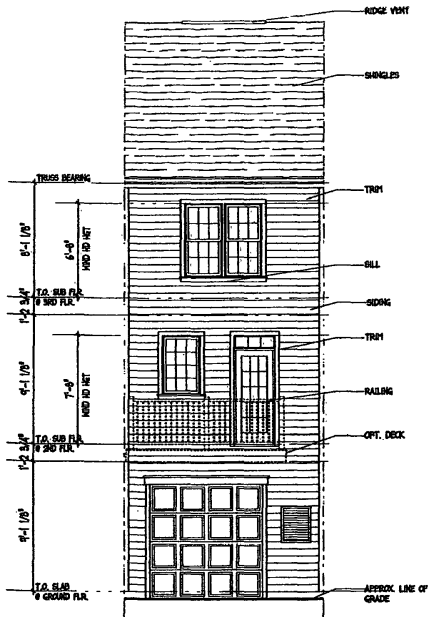
JANUARY 30, 2007

TOWN HOMES AT
STANTON SQUARE

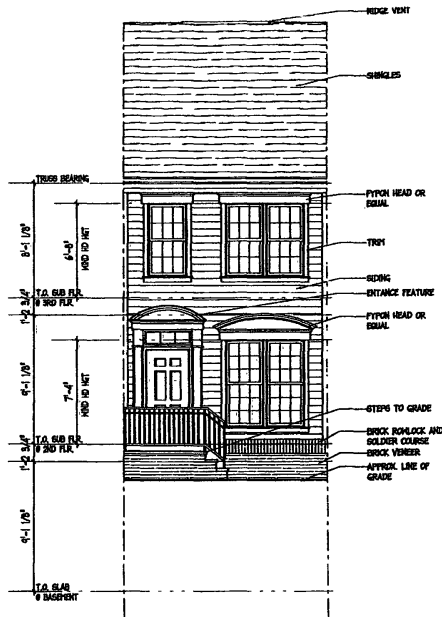
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HOR.026A.00G.



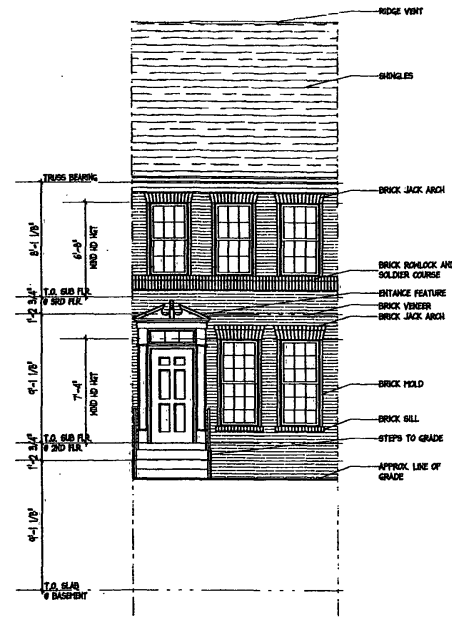
A.200



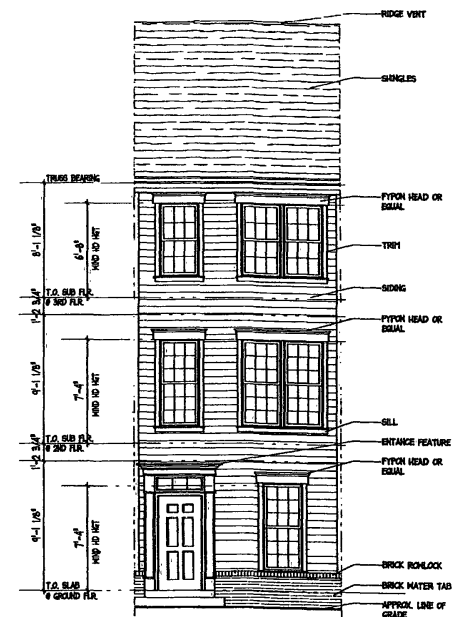
4 Rear Elevation Unit B



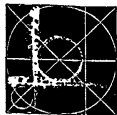
3 Front Elevation B-3 w/ Opt. English Basement
Shown in Siding



2 Front Elevation B-2 w/ Opt. English Basement
Shown in Brick



1 Front Elevation B-1 Slab on Grade
Shown in Siding



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ELEVATIONS UNIT "B" 14' TH

JANUARY 30, 2007

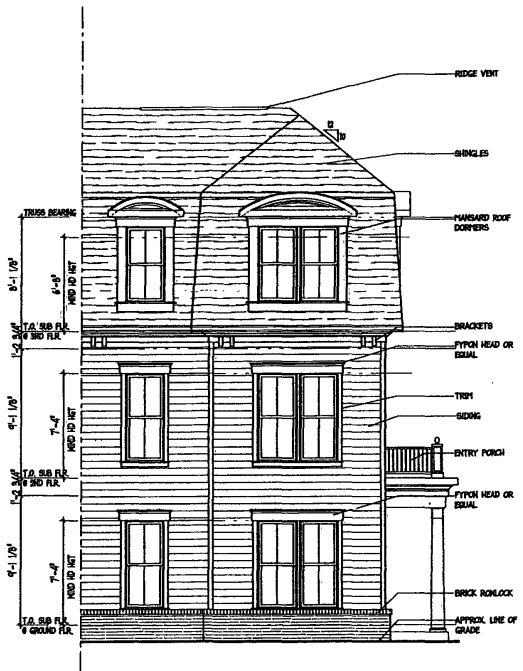
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



1/8"=1'-0"
HOR026A010

A.210



2 Side Elevation E-1 Slab on Grade
Shown in Siding



1 Front Elevation E-1 Slab on Grade
Shown in Siding



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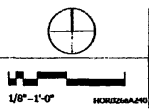
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ELEVATIONS
UNIT "E" 20' TH

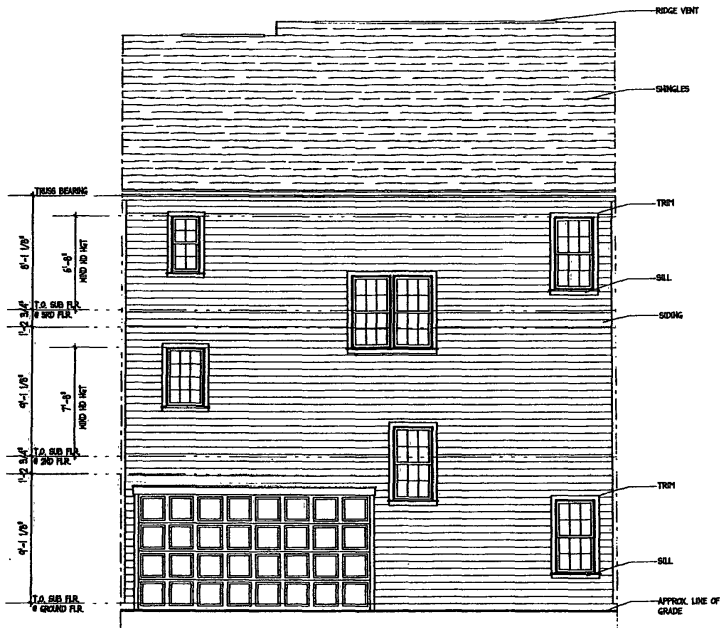
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TOWN HOMES AT
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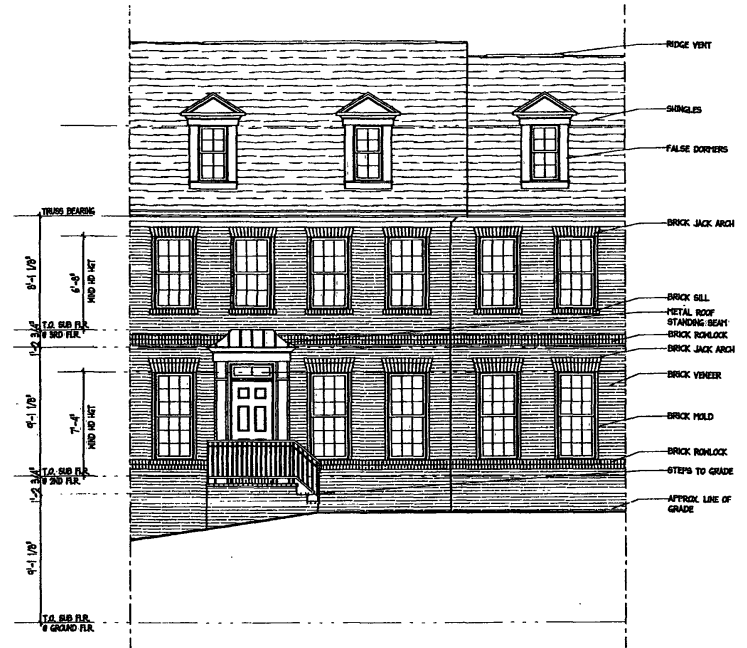
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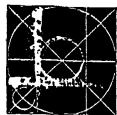
A.240



2 Rear Elevation E-2



1 Front Elevation E-2 w/ Opt. English Basement
Shown in Brick



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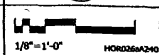
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ELEVATIONS
UNIT "E" 20' TH

JANUARY 30, 2007

TOWN HOMES AT
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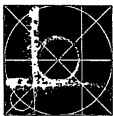
A.241



1 Stanton Road Partial Street Elevation
Lots #90-97 & #109



2 Pomeroy Road Street Elevation
Lots #01-13



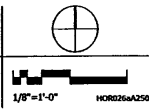
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**STREETSCAPE
ELEVATIONS**
MARCH 08, 2007

TOWN HOMES AT
STANTON SQUARE

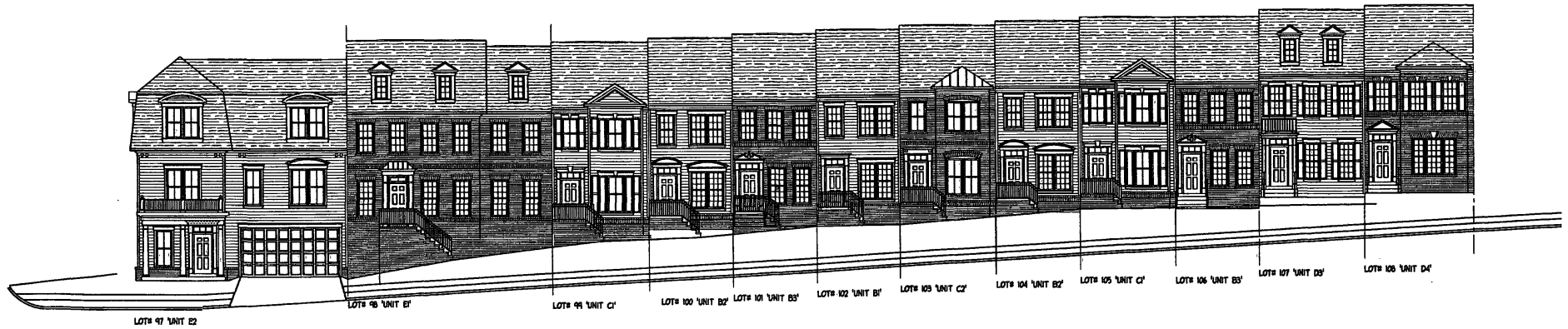
HORNING BROTHERS
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A.250



1 Typical Interior Block Street Elevation
 Lots #109-121
 Front Loaded Garages



2 Typical Interior Block Street Elevation
 Lots #97-108
 Rear Loaded Garages



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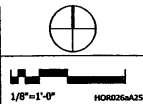
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STREETSCAPE
 ELEVATIONS

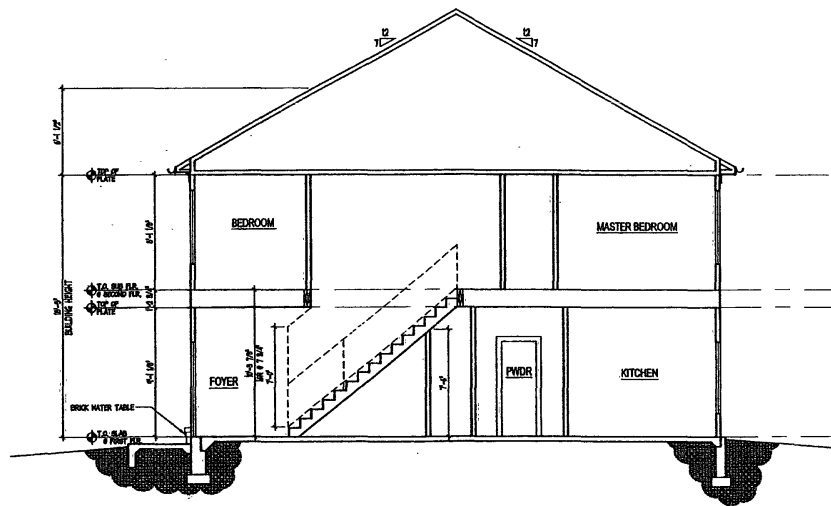
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TOWN HOMES AT
 STANTON SQUARE

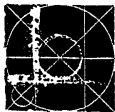
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A.251



1 Section - Unit A
SCALE: 1/4"=1'-0"



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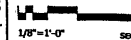
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SECTIONS
UNIT "A" 14' T.H.

JANUARY 30, 2007

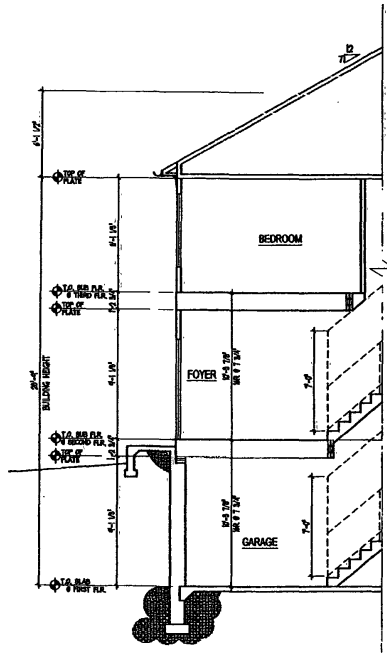
TOWN HOMES AT
STANTON SQUARE

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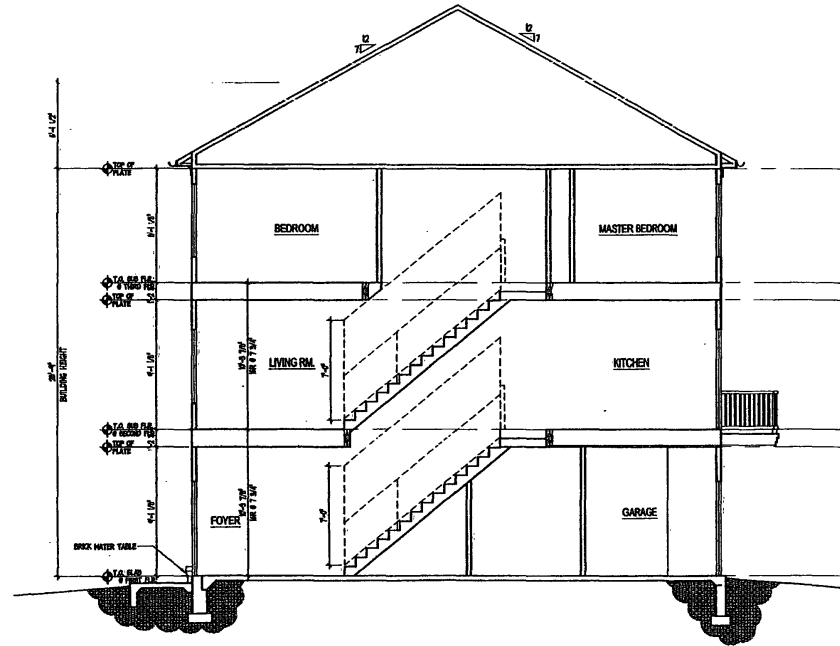


SECTIONS

A.300



2 Partial Section - Unit B - w / Opt. English Basement
SCALE: 1/4"=1'-0"



1 Section - Unit B
SCALE: 1/4"=1'-0"



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SECTIONS
UNIT "B" 14' T.H.

JANUARY 30, 2007

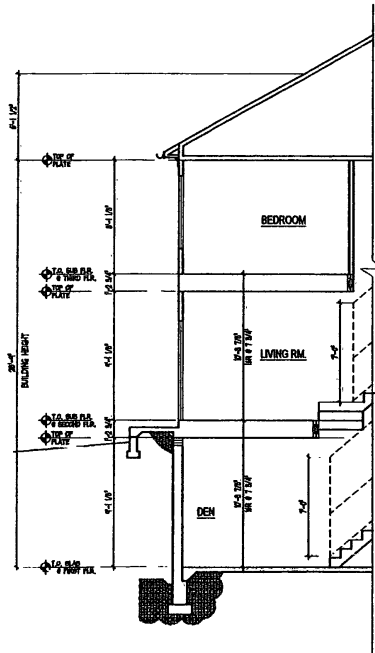
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.

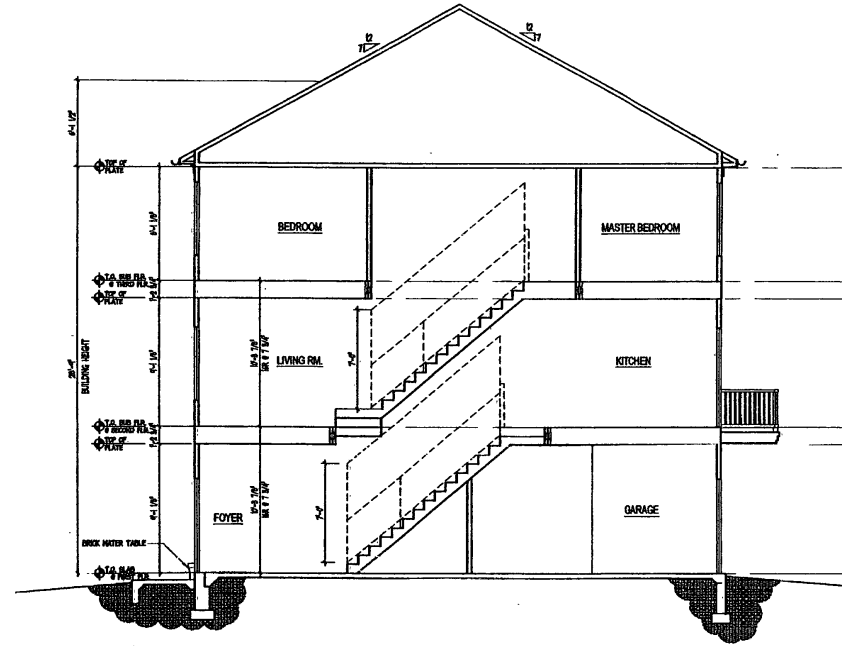


1/8"=1'-0" SECTION

A.310



2 Partial Section - Unit C - w / Opt. English Basement
SCALE: 1/4"=1'-0"



1 Section - Unit C
SCALE: 1/4"=1'-0"



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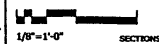
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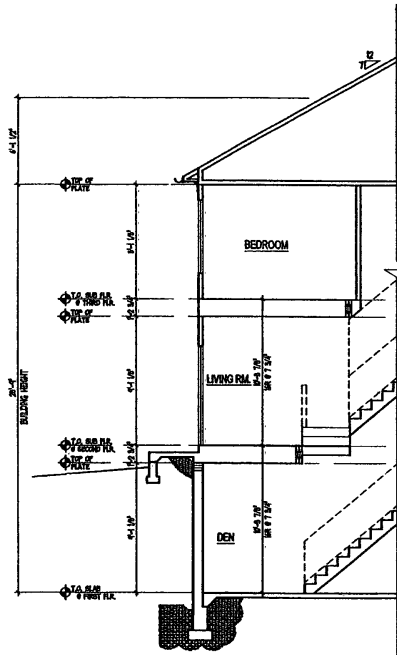
SECTIONS
UNIT "C" 16' T.H.
JANUARY 30, 2007

TOWN HOMES AT
STANTON SQUARE

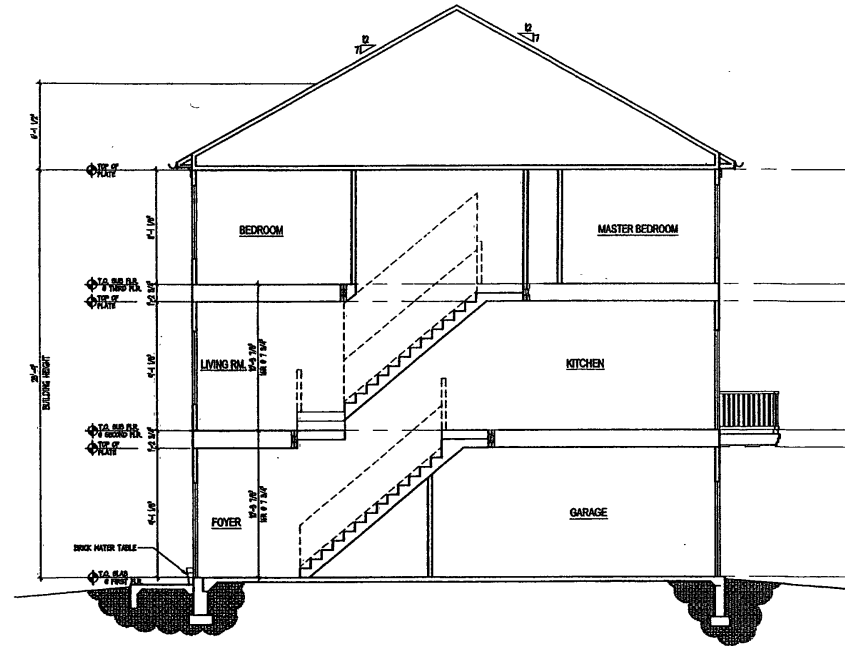
HORNING BROTHERS
HOR.026A.00G.



A.320



2 Partial Section - Unit D
SCALE: 1/4"=1'-0"



1 Section - Unit D
SCALE: 1/4"=1'-0"



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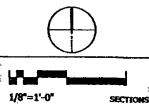
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SECTIONS
UNIT "D" 18' T.H.

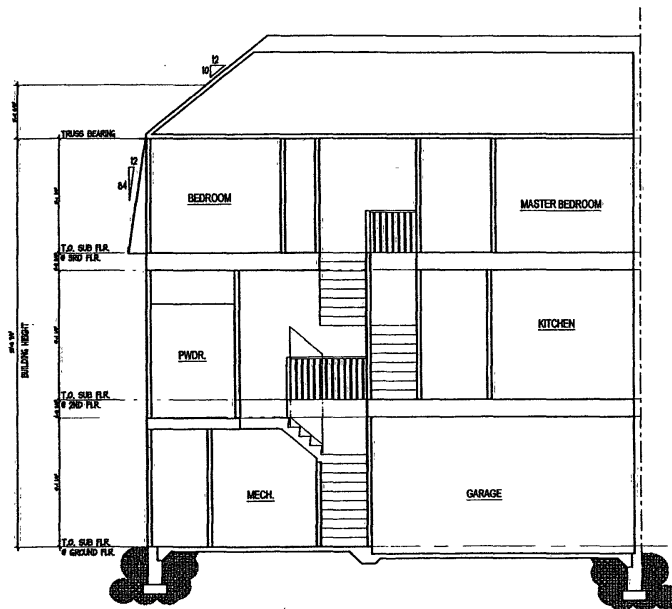
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TOWN HOMES AT
STANTON SQUARE

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A.330



1 Section - Unit E - w / Opt. English Basement
SCALE: 1/8"=1'-0"



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SECTIONS
UNIT "E" 20' T.H.

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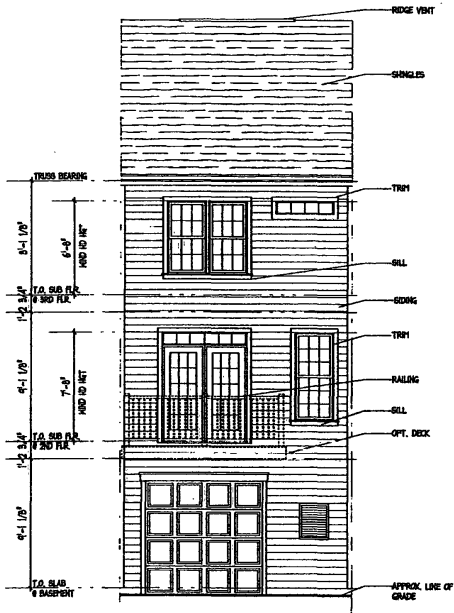
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STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.

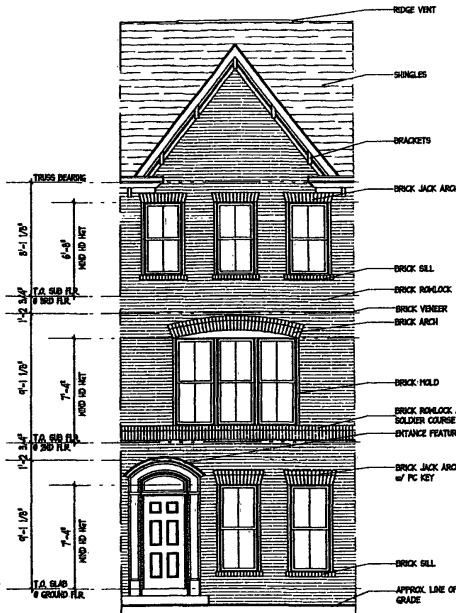


1/8"=1'-0" SECTIONS

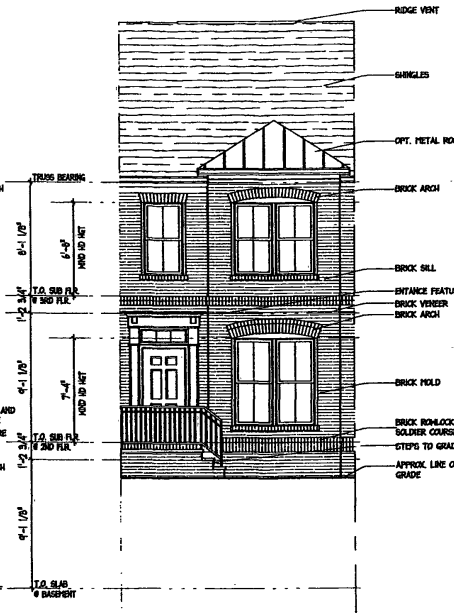
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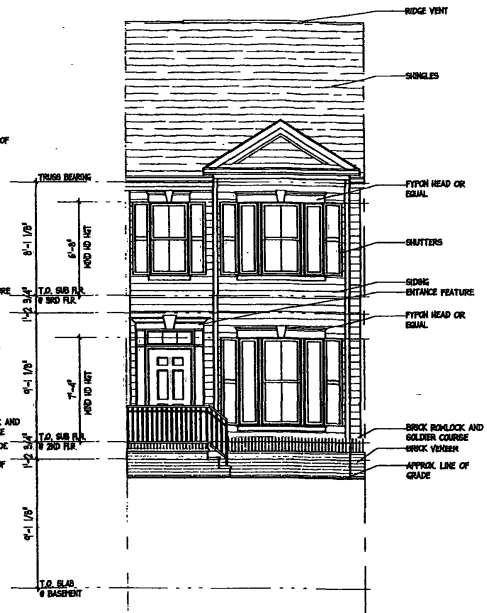
4 Rear Elevation Unit C



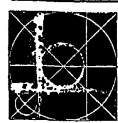
3 Front Elevation C-3
Slab on Grade
Shown in Brick



2 Front Elevation C-2 w / Opt. English Basement
Shown in Brick



1 Front Elevation C-1 w / Opt. English Basement
Shown in Siding



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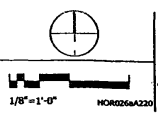
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ELEVATIONS
UNIT "C" 16' TH

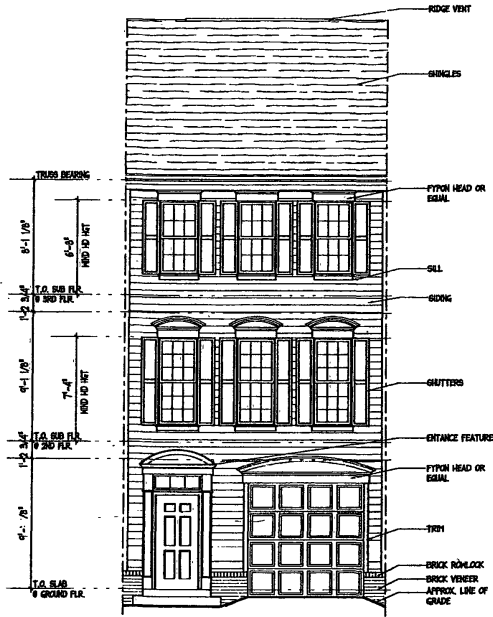
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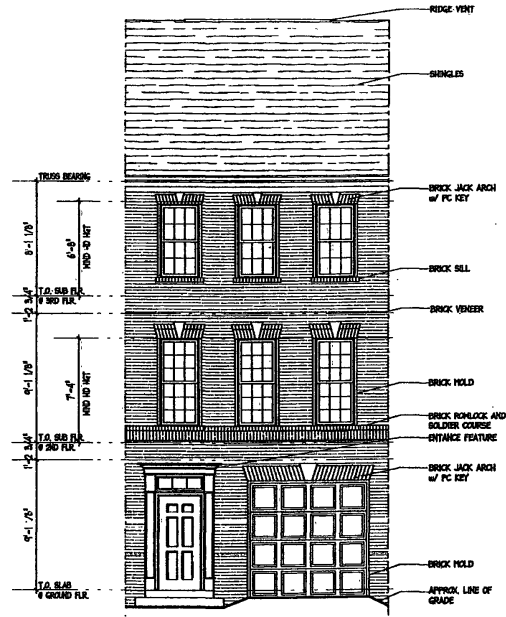
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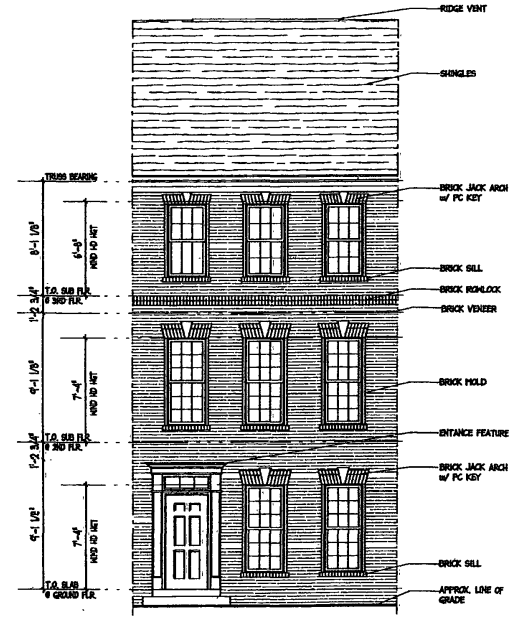
A.220



3 Front Elevation D-2 Slab on Grade
Alt. Front Garage w/ Sliding



2 Front Elevation D-1 Slab on Grade
Alt. Front Garage w/ Brick



1 Front Elevation D-1 Slab on Grade
Shown in Brick



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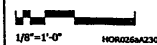
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ELEVATIONS
UNIT "D" 18' TH

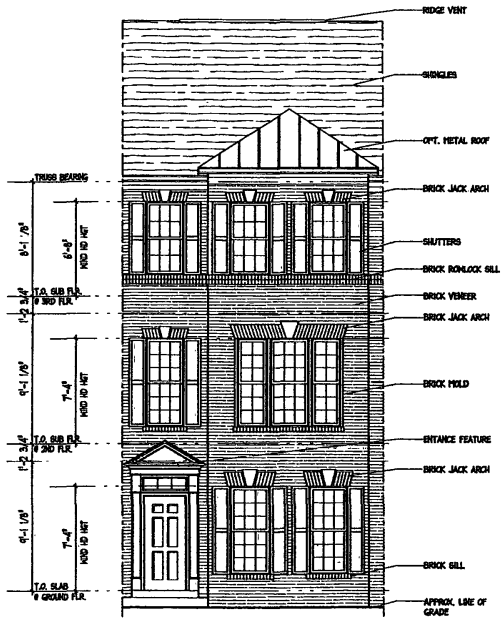
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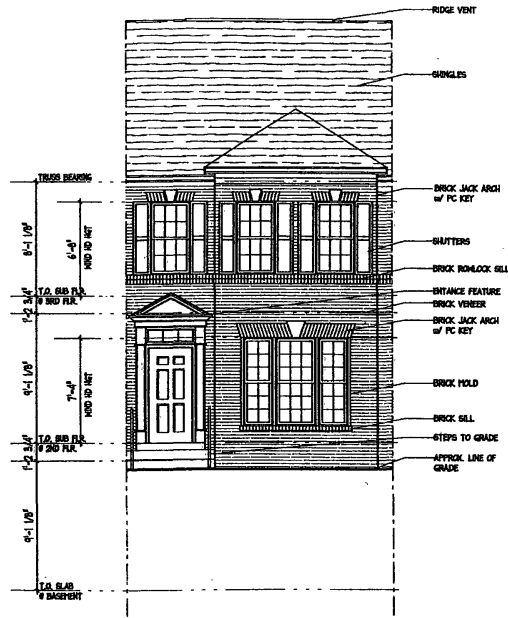
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HOR.026A.00G.



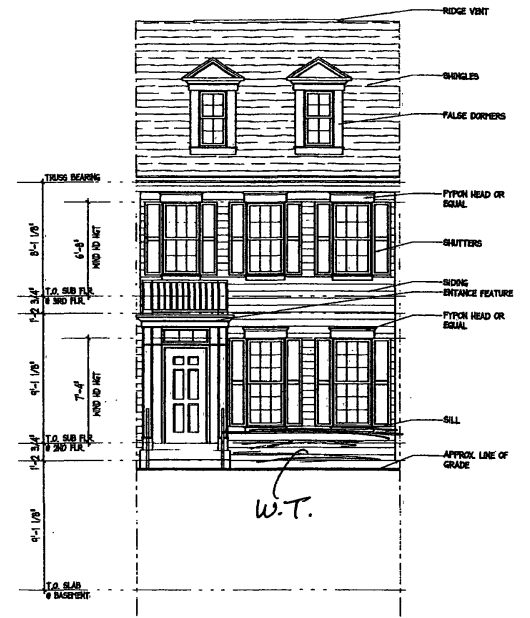
A.230



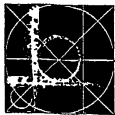
3 Front Elevation D-4 Slab on Grade
Shown in Brick



2 Front Elevation D-4 w/ Opt. English Basement
Shown in Brick



1 Front Elevation D-3 w/ Opt. English Basement
Shown in Siding



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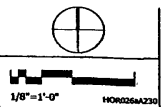
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ELEVATIONS UNIT "D" 18' TH

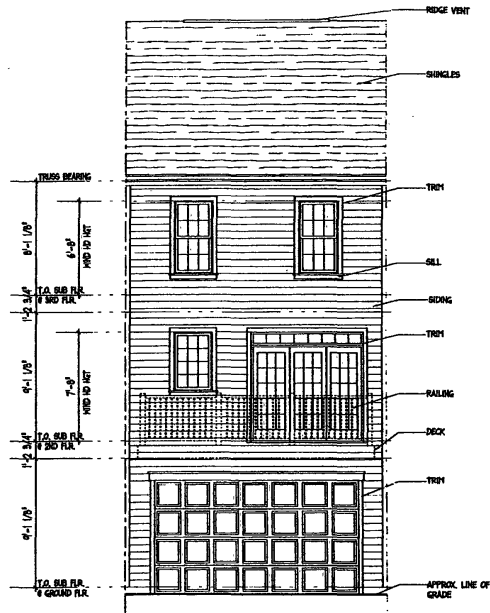
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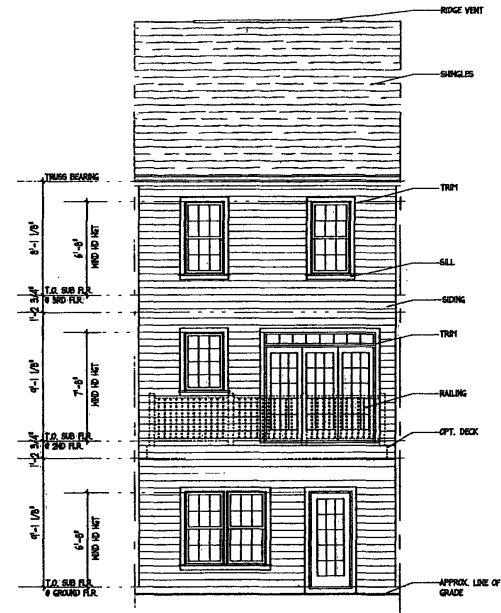
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HOR.025A.00G.



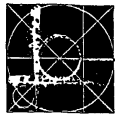
A.231



1 Rear Elevation - w / Rear Garage



1 Rear Elevation - w / Front Garage



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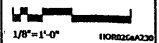
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ELEVATIONS
UNIT "D" 18' TH

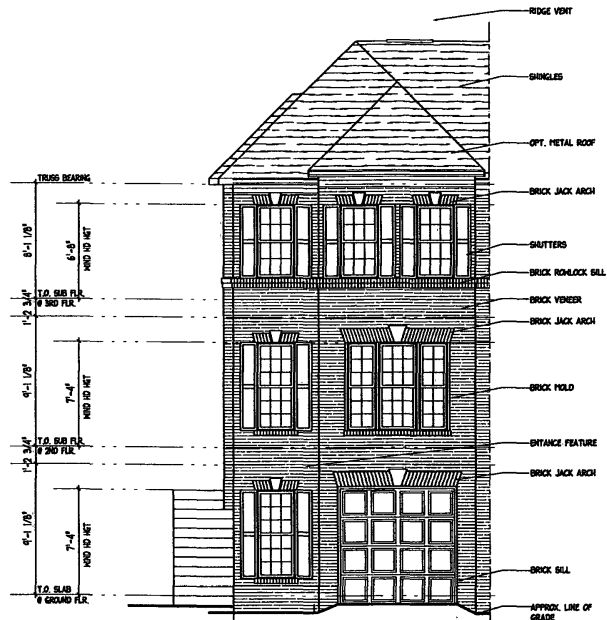
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TOWN HOMES AT
STANTON SQUARE

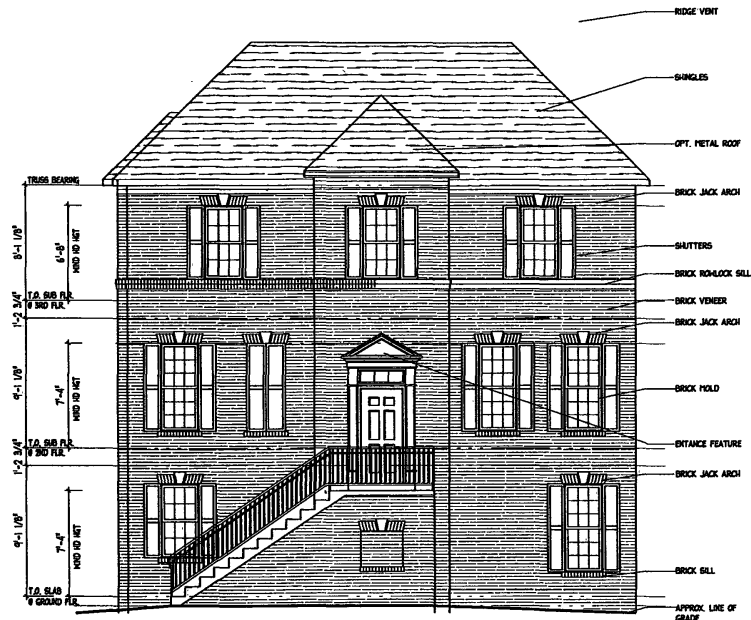
HORNING BROTHERS
HOR.026A.00G.



A.232



1 End Corner Front Elevation D-4 Front Load Garage
Shown W/ Brick



1 End Corner Side Elevation D-4 Front Load Garage
Shown W/ Brick



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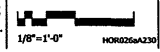
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ELEVATIONS
UNIT "D" 18' TH

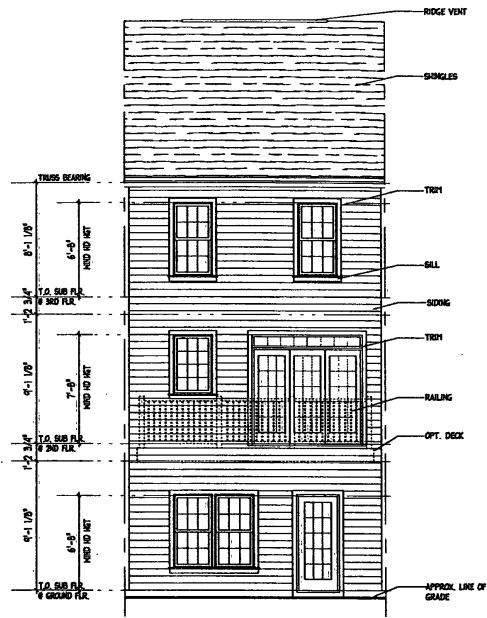
MARCH 08, 2007

TOWN HOMES AT
STANTON SQUARE

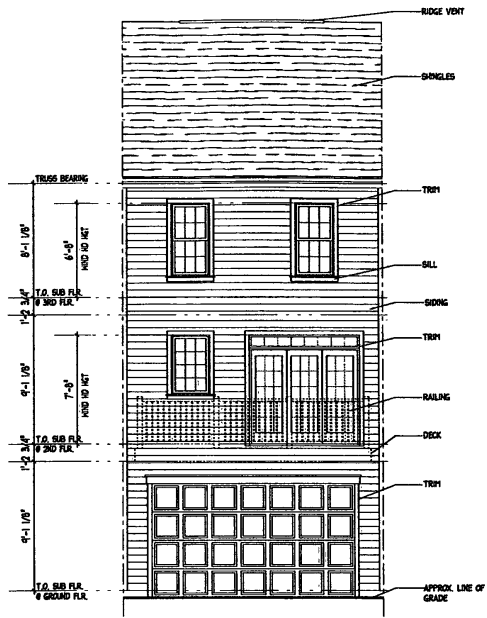
HORNING BROTHERS
HOR.026A.00G.



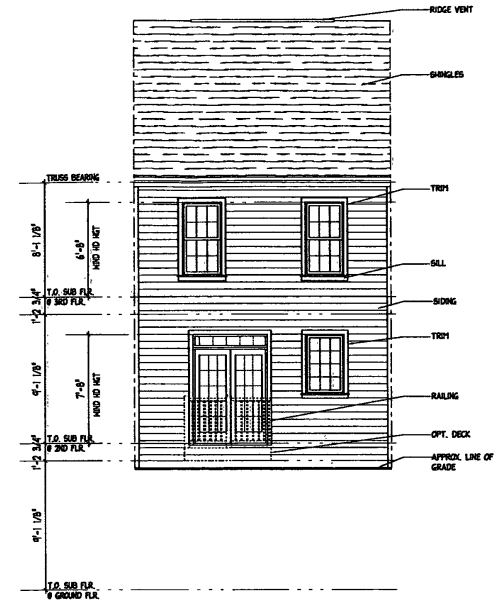
A.233



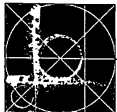
3 Rear Elevation D Front Load Garage
Shown W/ Siding



2 Rear Elevation D Rear Load Garage
Shown W/ Siding



1 Rear Elevation D Front Load Garage w/ Buried Rear
Shown W/ Siding



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ELEVATIONS
UNIT "D" 18' TH

MARCH 08, 2007

TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



1/8"=1'-0"
HOR026a230

A.234



LEGEND

-  STREET LIGHT
(SINGLE ARM PENDANT
POLE W/ LAMP)
-  FILTERA UNITS
-  BIOTRETION/
RAINY GARDEN

**Edwards
Kelcey**

STUDIO39

landscape architecture, p.c.

1 RENDERED SITE PLAN
L1.00 Scale: 1"=40'

PLAN



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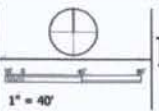
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RENDERED SITE PLAN

SUBMISSION DATE: 03/08/07

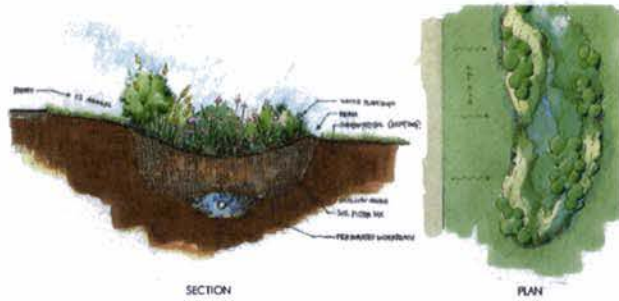
**TOWN HOMES AT
STANTON SQUARE**

**HORNING BROTHERS
HOR.026A.00G.**

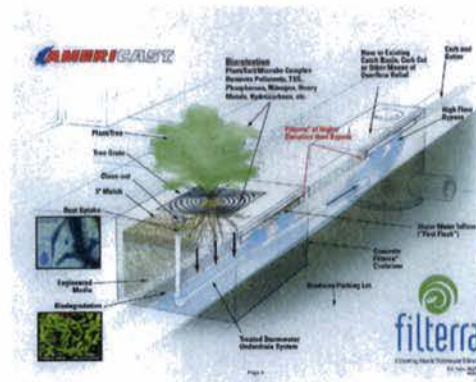


L1.00

1" = 40'



SECTION
BIORETENTION/ RAIN GARDEN



FILTERRA UNIT



MODULAR BLOCK WALL



MODULAR BLOCK WALL

BIOTENTION/ RAIN GARDEN
TYPICAL PLANT SPECIES

SHADE TREES:

AMERICAN SYCAMORE
BALD CYPRESS
GREEN ASH
HONEY LOCUST
RED MAPLE
RED OAK
SCARLET OAK
SWAMP WHITE OAK
SWEET GUM
WHITE ASH

EVERGREEN TREES:

AMERICAN HOLLY
AMERICAN ARBORVITAE
EASTERN RED CEDAR

ORNAMENTAL TREES:

FRINGE TREE
SERVICE BERRY
SWEETBAY MAGNOLIA
BLACK GLUM

SHRUBS:

RED CHOKEBERRY
BLACK CHOKEBERRY
BUTTON BUSH
REDTIGER DOGWOOD
WITCH HAZEL
ST JOHN'S WORT
INKBERRY
WINTERBERRY
VIRGINIA SWEET SPIRE
SPICE BUSH
WAX MYRTLE
BAYBERRY
SWEET AZALEA
SWAMP AZALEA

PERENNIALS:

NEW ENGLAND ASTER
MARSH MARIGOLD
JOE PEE WEED
SWAMP SUNFLOWER
SENSITIVE FERN
CINNAMON FERN
RICHA FERN
SWITCH GRASS
CORNFLOWER
WINGED LEAF GOLDENROD
WILLOWLEAF BLUESTAR
COLUMBINE
SWAMP MILFORD
ASTILE
RIVER CATS
DAYLILY
MALTESE CROSS
VIRGINIA BLUE BELLS



Table 1: Filterra® Quick Sizing Table
(Mid-Atlantic Region)

Available Filterra® Box Sizes (feet)	Total Contributing Drainage Area (acres)	Outlet Pipe
4x6 or 6x4	up to 0.17	4" SDR-35 PVC
4x8 or 8x4	0.18 to 0.22	4" SDR-35 PVC
Standard 6x6	0.23 to 0.25	4" SDR-35 PVC
6x8 or 8x6	0.26 to 0.33	4" SDR-35 PVC
6x10 or 10x6	0.34 to 0.42	6" SDR-35 PVC
6x12 or 12x6	0.43 to 0.50	6" SDR-35 PVC

Notes:

1. Consider the entire contributing Drainage Area to the Filterra® (not just the impervious area)
2. All boxes with a standard 3.5 foot depth (60" to TC)
3. A standard SDR-35 PVC pipe embedding in 1200 into the wall for easy connection to discharge drain
4. Dimensions shown are internal. Please add 1" for each for internal joining 6" walls
5. For more details, please see the Filterra® Technical Whitepaper at www.filterra.com

06/07/24

www.filterra.com

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Page 13



TYPICAL CORNER PARK



TYPICAL TOT LOT



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IMAGES & DETAILS

SUBMISSION DATE: 03/08/07

TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.

L1.02

FILTERA UNIT
SEE SHEET 1/L1.01
CORNER PARK
STREET LIGHT
TYPICAL BENCH
BIORETENTION/RAIN GARDEN

SEE 2/L1.01

EVERGREEN TREE
BIORETENTION/RAIN GARDEN
FILTERA UNIT
ORNAMENTAL TREE
TYPICAL LOT

4' APPROX. 8" HIGH MODULAR
RETAINING WALLS
OVERLOOK
STAIRS
FILTERA UNIT

TYPICAL TREE SPECIES

SHADE TREES

- SCALLOP OAK
- PIN OAK
- CHINESE ELM
- VALLEY FORDS ELM
- JAPANESE ZELKOVA
- GREEN AND WHITE ASH

ORNAMENTAL TREES

- SRV/CEBERRY
- KOLISA DOGWOOD
- RIVER BIRCH
- EASTERN REDBUD
- POTOMAC CRAWPINKLE
- YOSHINO CHERRY

EVERGREEN TREES

- JAPANESE CRYPTOMERA
- AMERICAN HOLLY
- NORWAY SPALICE
- FOXTAIL HOLLY

LEGEND

- STREET LIGHT
(SINGLE ARM PENDANT
POLE W/ LAMP)
- FILTERA UNITS
- BIORETENTION/
RAIN GARDEN

SHADE TREE
BIORETENTION/RAIN GARDEN
CORNER PARK

SEE 2/L1.01

SEE 2/L1.01

CORNER PARK
BIORETENTION/RAIN GARDEN



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ARLINGTON, VA 22202
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WWW.STUDIO39VA.COM

1 SITE PLAN
L1.03 Scale: 1"=40'

PLAN



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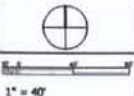
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SITE PLAN

SUBMISSION DATE: 03/08/07

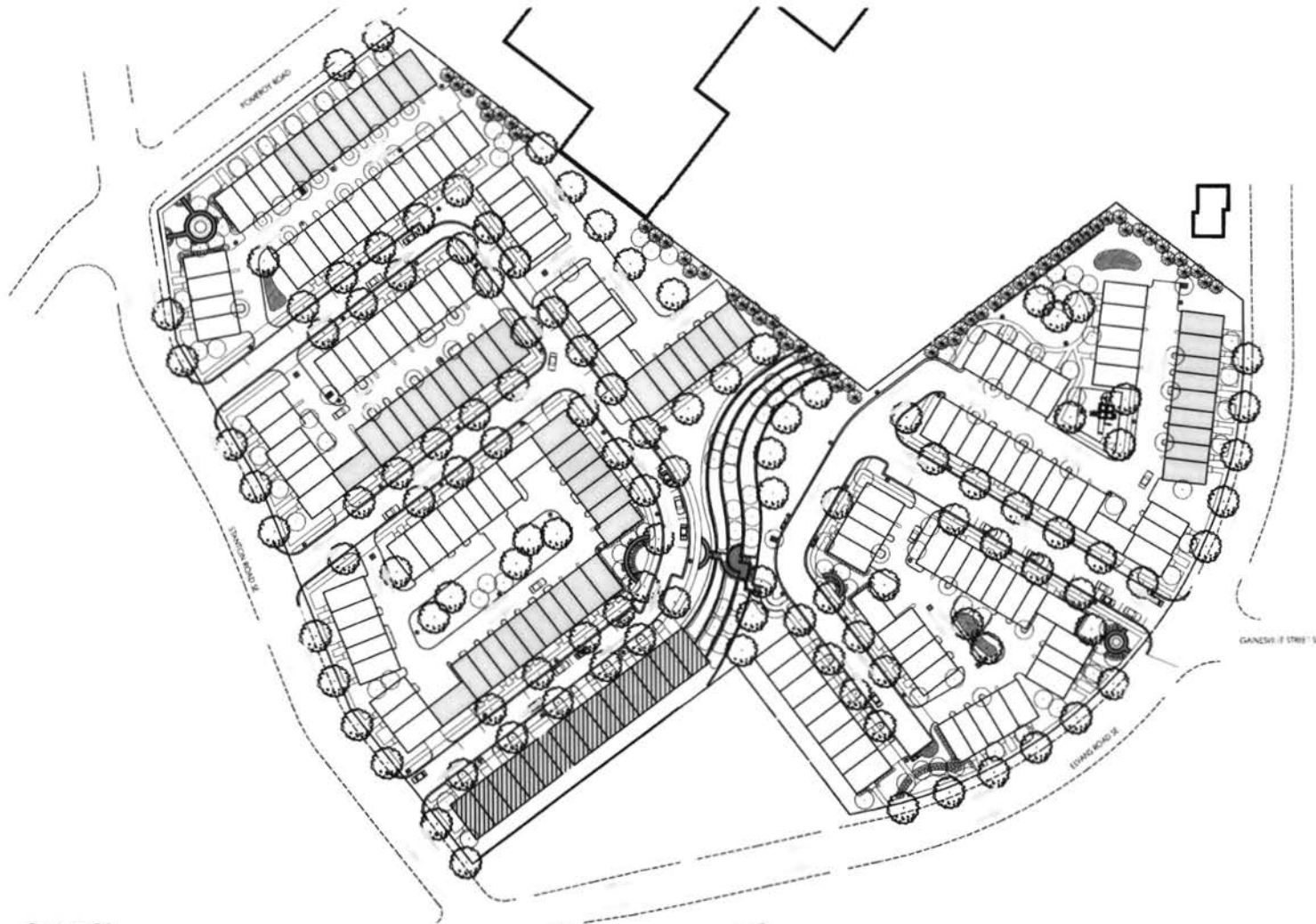
TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HON. 026A.00G





L1.03

1" = 40'



LEGEND

-  PARTIALLY TO FULLY BURIED FRONT UNITS
-  PARTIALLY TO FULLY BURIED REAR UNITS

STUDIO39
 BURIED BASEMENT LOCATION PLAN

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BURIED BASEMENT LOCATION PLAN
 SL.BV18@STWV.DWG 2008/06/07

TOWN HOMES AT STANTON SQUARE
 HORNING BROTHERS
 HCR.026A.00G
 1" = 40'

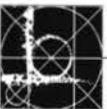
L1.04



EXISTING	LEGEND
	ELECTRIC LINE & METER
	TELEPHONE LINE & METER
	LIGHT POST & TRAFFIC LIGHT
	SANITARY LINE & METER
	STORM INLET
	STORM LINE & METER
	GAS LINE & VALVE
	GAS METER
	WATER LINE & METER
	WATER METER & FIRE HYDRANT
	SANITARY HYDRANT & WATER VALVE
	IRON FENCE
	SPOT ELEVATIONS
	CONCRETE SIDEWALK
	CURB & GUTTER
	TREES
	SIGN POLE
	PARKING METER

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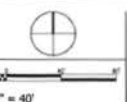
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Existing Conditions Plan

March 08, 2007

TOWN HOMES AT
 STANTON SQUARE

HORNING BROTHERS
 HOR.026A.00G



C.01

1" = 40'



LEGEND	
	EXISTING ELECTRIC LINE & METER
	EXISTING TELEPHONE LINE & METER
	EXISTING SANITARY LINE & METER
	STORM INLET
	STORM LINE & METER
	GAS LINE & VALVE
	GAS METER
	WATER LINE & METER
	WATER METER & FIRE HYDRANT
	SANITARY HYDRANT & WATER VALVE
	IRON FENCE
	SPOT ELEVATION
	CONCRETE SIDEWALK
	CURB & GUTTER
	TREE
	SIGN POLE
	PARKING METER

Edwards AND Kelcey

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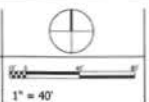
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Existing Conditions Plan

March 08, 2007

TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS
 HOR.026A.00G.



C.01

1" = 40'

- LEGEND:
- UNIT A 14 FOOT WIDE TOWNHOME
 - UNIT B 14 FOOT WIDE TOWNHOME
 - UNIT C 16 FOOT WIDE TOWNHOME
 - UNIT D 18 FOOT WIDE TOWNHOME
 - UNIT E 20 FOOT WIDE TOWNHOME



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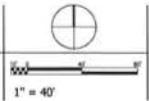
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Site Plan

March 08, 2007

TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
HOR.026A.00G.



C.02

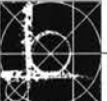


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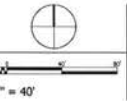
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Grading Plan

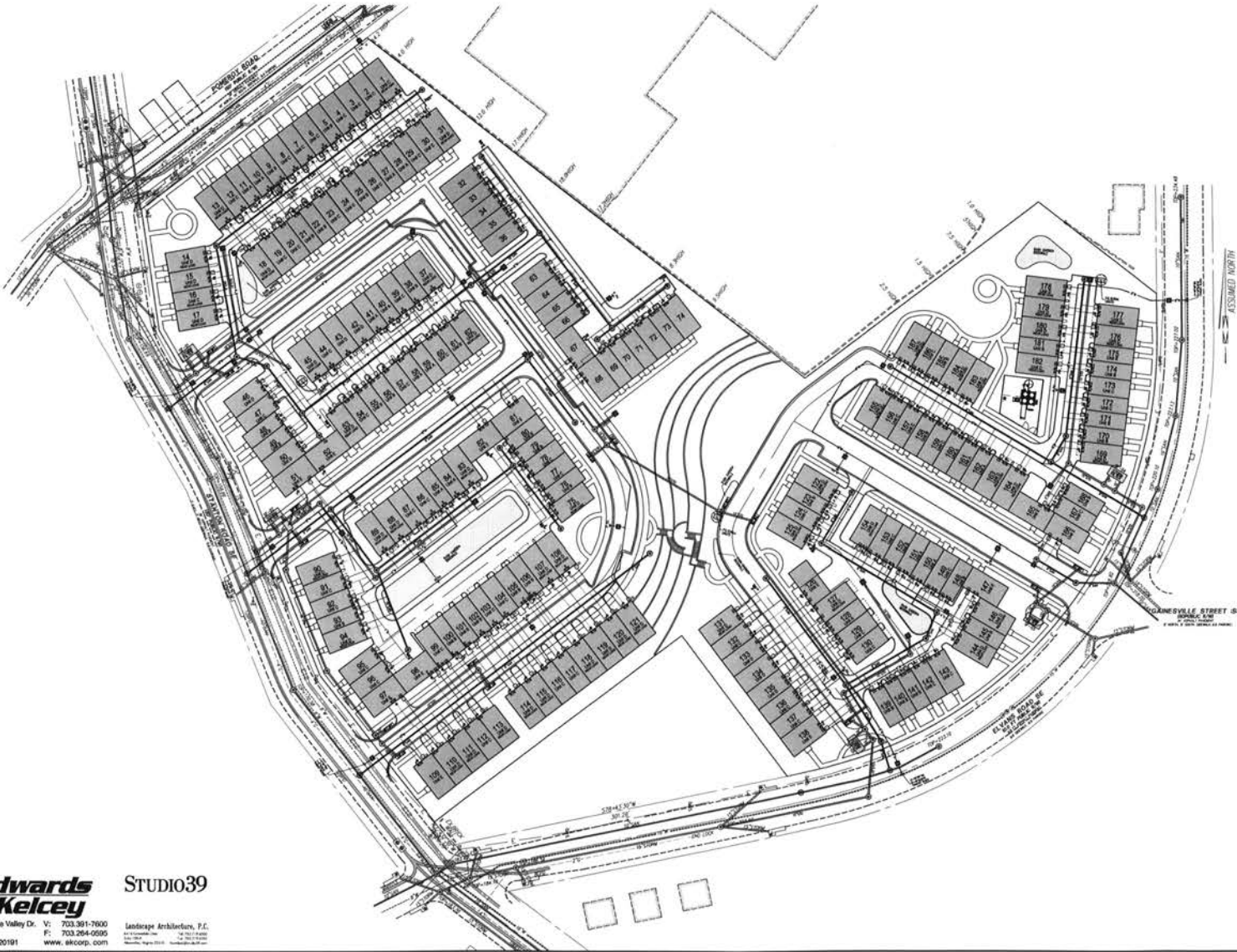
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TOWN HOMES AT
STANTON SQUARE

HORNING BROTHERS
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C.03



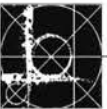
EXISTING	LEGEND	PROPOSED

AVERAGE DAILY WATER DEMAND AND SEWAGE FLOW:
 WATER: 310 GPD/UNIT X 184 UNITS = 57,040 GPD
 SEWAGE: 300 GPD/UNIT X 184 UNITS = 55,200 GPD

NOTE:
 STORMWATER MANAGEMENT FACILITIES AND SEDIMENTATION AND EROSION CONTROLS TO MEET THE REQUIREMENTS OF THE DISTRICT OF COLUMBIA DEPARTMENT OF ENVIRONMENT, WATERSHED PROTECTION DIVISION AND WILL BE PROVIDED BY MEANS OF STORMWATER FILTERS, STORMWATER BSS-RETENTION, FILTRATION, RAIN GARDEN OR EQUAL TO BE APPROVED BY DEPARTMENT OF ENVIRONMENT.

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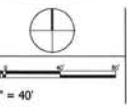
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Utility Plan

March 08, 2007

TOWN HOMES AT
 STANTON SQUARE





HORNING BROTHERS
 HOR.026A.00G.



C.04



LEGEND:

-  DIRECTION OF EXISTING AND/OR PROPOSED TRAFFIC FLOW
-  PRIMARY PEDESTRIAN CIRCULATION
-  PRIMARY VEHICULAR CIRCULATION
-  ALLEY

TOTAL PARKING SPACES = 37



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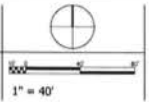
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Circulation Plan

March 08, 2007

TOWN HOMES AT STANTON SQUARE

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C.05



Green Space: 116,414 Sq.Ft.

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Green Space Plan

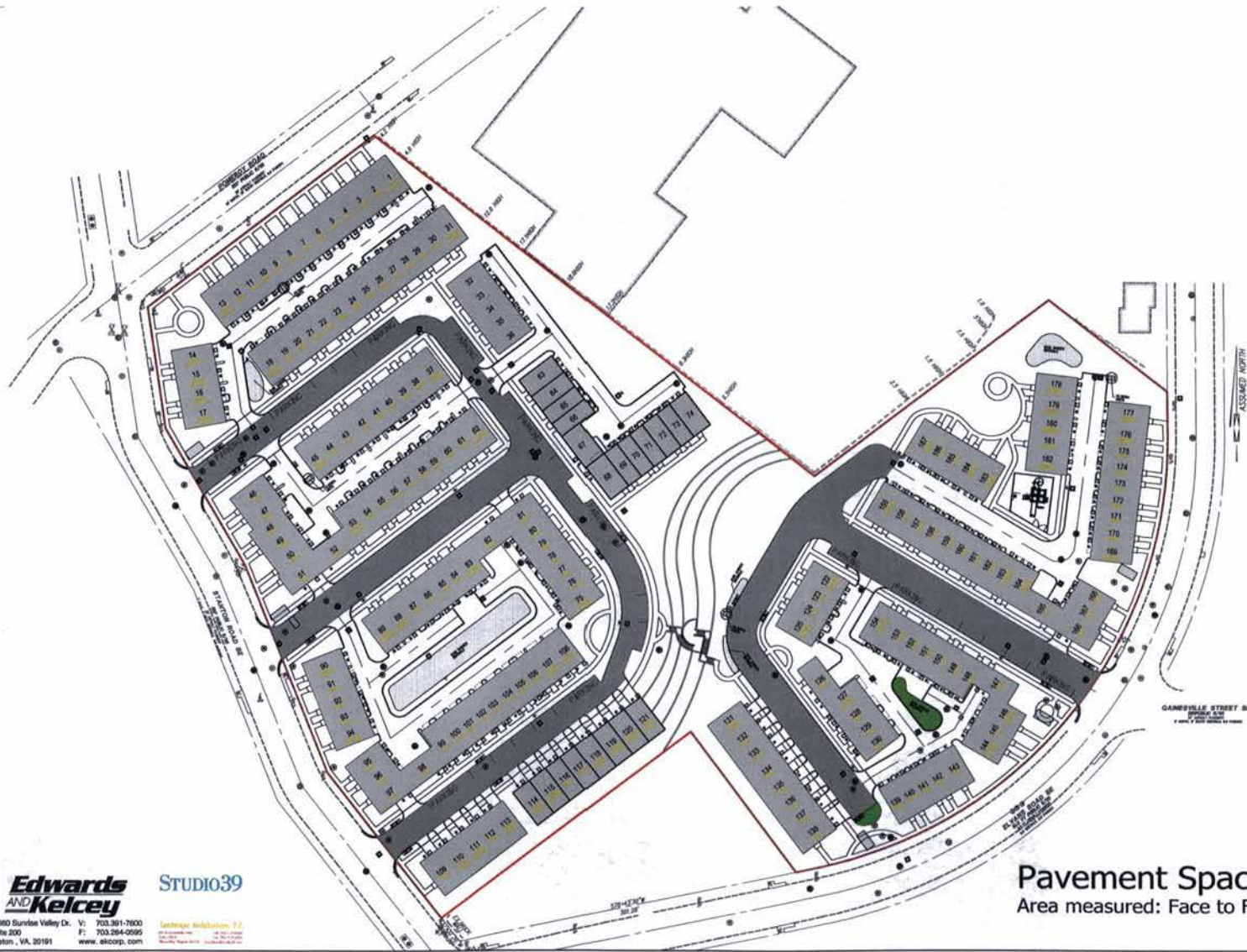
March 08, 2007

TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS
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C.06



Pavement Space: 88,988 Sq.Ft.
 Area measured: Face to Face of Curb

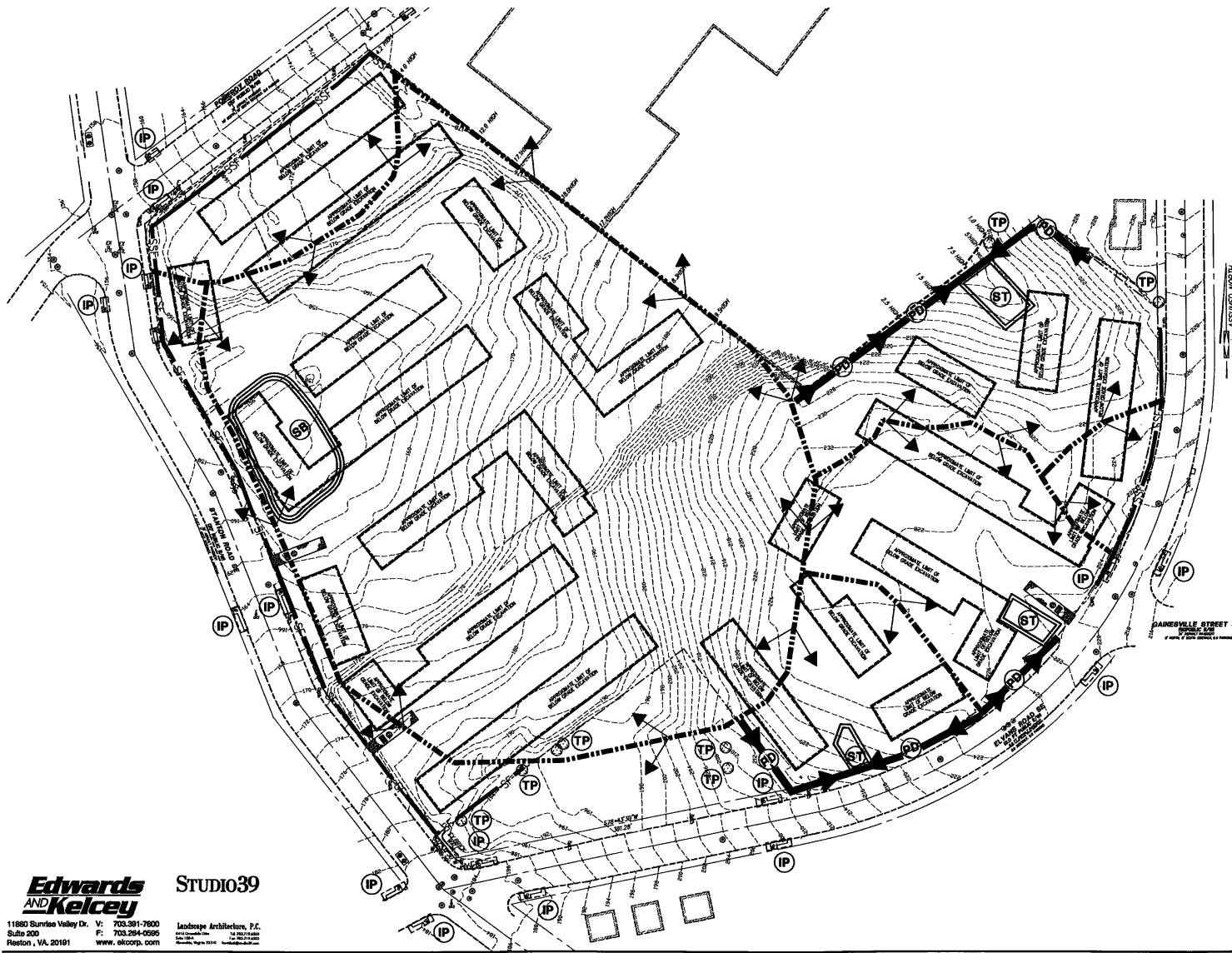
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 Strategic Solutions, LLC
 4000 Leesburg Pike, Suite 2000
 Reston, VA 20191

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Paving Plan
 March 08, 2007

TOWN HOMES AT STANTON SQUARE
 HORNING BROTHERS HOR.026A.00G
 1" = 40'

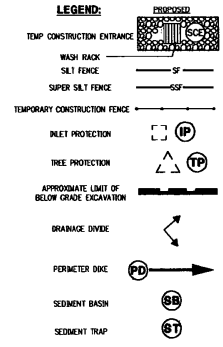
C.07



- CONSTRUCTION AND STABILIZATION SEQUENCE:**
1. INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, TREE PROTECTION, SILT FENCE, AS INDICATED ON THE SHEET. SEE SHEET C-09 AND C-10 FOR SEDIMENT AND EROSION CONTROL DETAILS.
 2. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
 3. INSTALL SITE IMPROVEMENTS AS INDICATED ON CONSTRUCTION DOCUMENTS FOR THE PROPOSED BUILDING.
 4. AT THE COMPLETION OF CONSTRUCTION AND AFTER THE INSPECTOR'S APPROVAL, ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED.

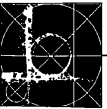
- NOTE:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED BY THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
 2. PROVIDE SILT FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNTIL BELOW GRADE EXCAVATION HAS BEGUN UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
 3. PROVIDE CONSTRUCTION FENCE AT PERIMETER OF EXCAVATION AREA TO REMAIN IN PLACE UNLESS OTHERWISE APPROVED BY THE INSPECTOR.
 4. CONTRACTOR TO PROVIDE ON SITE APPROVED STAMPED AND SIGNED SEDIMENTATION AND EROSION CONTROL DRAWINGS BY DEPARTMENT OF HEALTH, WATERSHED PROTECTION DIVISION.
 5. REFER TO THE CORRECTIVE ACTION PLAN AND THE DISTRICT OF COLUMBIA'S VOLUNTARY REMEDIATION ACTION PROGRAM AUTHORIZATION FOR TREATMENT OF CONTAMINATED GROUND WATER.

- DUST CONTROL NOTES:**
1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
 2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
 3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
 5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - B. ASSURE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - C. DISPOSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.



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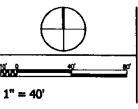
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Sedimentation and Erosion Control Plan

March 08, 2007

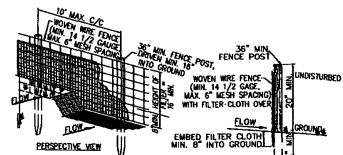
TOWN HOMES AT
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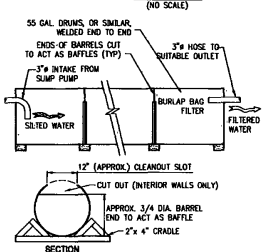
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CONSTRUCTION NOTES FOR FABRICATED SILT FENCE:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE (NO SCALE)



PORTABLE SEDIMENT TANK (NOT TO SCALE)

- CONSTRUCTION NOTES:**
1. THE STRUCTURE MAY BE CONSTRUCTED WITH STEEL, STEMS, STURDY WOOD OR OTHER MATERIAL SUITABLE FOR HANDLING THE PRESSURE EXERTED BY THE VOLUME OF THE WATER.
 2. SEDIMENT TANKS WILL HAVE A MINIMUM DEPTH OF TWO FEET.
 3. THE SEDIMENT TANK SHALL BE LOCATED FOR EASY CLEAN-OUT AND DISPOSAL OF THE TRAPPED SEDIMENT AND TO MINIMIZE THE INTERFERENCE WITH CONSTRUCTION ACTIVITIES.
 4. THE FOLLOWING FORMULA SHALL BE USED TO DETERMINE THE STORAGE VOLUME OF THE SEDIMENT TANK:
PUMP DISCHARGE (GPM) X 1016 = CUBIC FEET OF STORAGE REQUIRED
 5. ONCE THE WATER LEVEL NEARS THE TOP OF THE TANK, THE PUMP MUST BE SHUT OFF WHILE THE TANK DRAINS AND ADDITIONAL CAPACITY IS MADE AVAILABLE.
 6. THE TANK SHALL BE DESIGNED TO ALLOW FOR DRAINAGE FLOW OVER TOP OF THE TANK.
 7. CLEAN-OUT OF THE TANK IS REQUIRED ONCE ONE-THIRD OF THE ORIGINAL CAPACITY IS DEPLETED DUE TO SEDIMENT ACCUMULATION. THE TANK SHALL BE CLEARLY MARKED SHOWING THE CLEAN-OUT POINT.

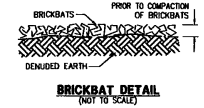
STANDARDS AND SPECIFICATIONS FOR BRICKBAT GROUND COVER

DEFINITION: TEMPORARY GROUND COVER CONSISTING OF BRICK BAT (1/4 PIECE OR SMALLER) PLACED OVER DENuded EARTH.

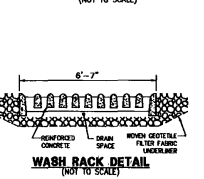
PURPOSE: BRICKBATS PROVIDE A TEMPORARY GROUND COVER OVER DENuded URBAN EARTH TO PREVENT THE TRANSPORTATION OF SEDIMENT FROM THE SITE.

CONDITIONS WHEN PRACTICE APPLIES: BRICKBATS MAY BE USED ON ANY SITE IN NEED OF TEMPORARY GROUND COVER.

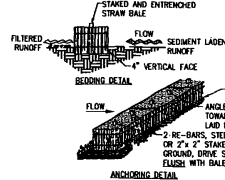
DESIGN CRITERIA: THE BRICKBATS SHALL BE PLACED TO A DEPTH OF 3 INCHES TO 4 INCHES COVERING THE DENuded EARTH ON THE SITE, THEN COMPACTED AND LEVELLED.



BRICKBAT DETAIL (NOT TO SCALE)



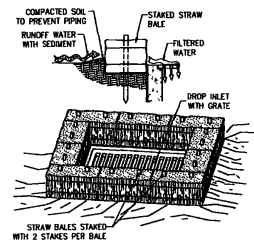
WASH RACK DETAIL (NOT TO SCALE)



CONSTRUCTION SPECIFICATIONS:

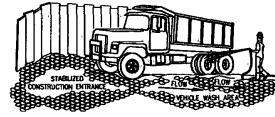
1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS POINTY, ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THAT BIDDERS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY Laid BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BALE DIKE (NOT TO SCALE)



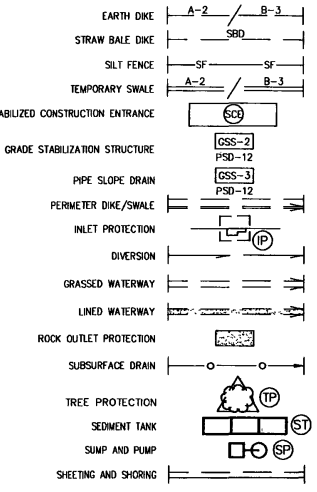
SPECIFIC APPLICATION: THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

STRAW BALE DROP INLET SEDIMENT FILTER (NOT TO SCALE)



VEHICLE WASH DETAIL (NOT TO SCALE)

LIST OF STANDARD SYMBOLS



STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION: CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.

PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM DENSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

CONDITIONS WHEN PRACTICE APPLIES: THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

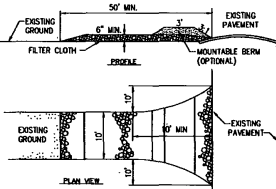
REGULATIONS: VARIOUS LOCAL, STATE, AND FEDERAL REGULATIONS APPLY TO DUST CONTROL.

TEMPORARY METHODS:

1. MULCHES-SEE STANDARDS FOR CRITICAL AREA STABILIZATION WITH MULCHES ONLY CHEMICAL OR WOOD CELLULOSE FIBER BINDERS MAY BE USED INSTEAD OF ANIMAL TO BIND MULCH MATERIAL.
2. VEGETATIVE COVER-SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
3. SPRAY-ON ADHESIVES-ON MINERALS SOILS (NOT EFFECTIVE ON MUCK SOILS) KEEP TRAFFIC OFF THESE AREAS.

WATER TREATMENT	TYPE OF NOZZLE	APPLY GALLONS/AC
ANIONIC ASPHALT EMULSION	7-1 COARSE SPRAY	1,200
LATEX EMULSION	12-1 FINE SPRAY	230
FRESH-WATER EMULSION	4-1 FINE SPRAY	300

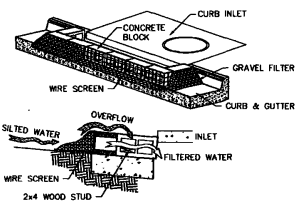
4. TILLAGE-TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWES SHAVED ABOUT 12" APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWES ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 5. IRIGATION-THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED.
 6. BARRIERS-SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
 7. CALCIUM CHLORIDE-APPLY AT RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.
- PERMANENT METHODS:**
1. PERMANENT VEGETATION-SEE STANDARDS FOR PERMANENT VEGETATIVE COVER AND PERMANENT STABILIZATION WITH SOIL. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
 2. TOPSOILING-COVERING WITH LESS ERODIBLE SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
 3. STONE-COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
- REFERENCES:**
1. AGRICULTURE HANDBOOK 348. WIND EROSION FORCES IN THE UNITED STATES AND THEIR USE IN PREDICTING SOIL LOSS.
 2. AGRICULTURE INFORMATION BULLETIN 354. HOW TO CONTROL WIND EROSION, USDA-ARS.



STABILIZED CONSTRUCTION ENTRANCE (NOT TO SCALE)

CONSTRUCTION RAMP SPECIFICATION:

1. STONE SIZE- USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
2. LENGTH- AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS- NOT LESS THAN SIX (6) INCHES
4. WIDTH- TEN (10) FOOT MINIMUM, BUT NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS LOCATIONS.
5. FILTER CLOTH- WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER- ALL SURFACE WATER FLOWING OR OVERFLOWED TOWARD CONSTRUCTION ENTRANCE SHALL BE PREPARED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 2:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE. AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT (SPILLED, DRIPPED, WASHED OR TRACKED) ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEEL WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



CURB INLET SEDIMENT FILTER (NOT TO SCALE)

1. TWO CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ABUTTING THE CURB AT EITHER SIDE OF THE INLET OPENING.
2. A 2 INCH BY 4 INCH STUD SHALL BE CUT AND PLACED THROUGH THE OUTER HOLES OF EACH SPACER BLOCK TO HELP KEEP THE FRONT BLOCKS IN PLACE.
3. CONCRETE BLOCKS SHALL BE PLACED ON THEIR SIDES ACROSS THE FRONT OF THE INLET AND ABUTTING THE SPACER BLOCKS AS ILLUSTRATED.
4. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (NEARBY) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. CHODEN WIRE OR HARDWARE CLOTH WITH 1/2-INCH OPENINGS SHALL BE USED.
5. TWO TO THREE INCH STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BARRIER AS SHOWN.
6. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

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Sedimentation and Erosion Control Details

March 08, 2007

TOWN HOMES AT STANTON SQUARE
HORNING BROTHERS
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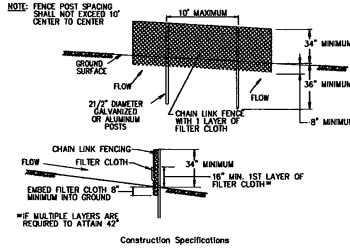
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EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
2. PROVIDE TEMPORARY STONE CONSTRUCTION ENTRANCE AND WASH RACK WHERE SHOWN. PROMOTE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. INSTALL STRAW BALE DIKE AS SHOWN ON SEDIMENT AND EROSION CONTROL PLAN.
4. NO DISTURBED AREA WILL BE EXPOSED FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED SILTATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. ALL STRAW BALE DIKES TO BE MAINTAINED IN WORKING CONDITION.
7. STABILIZED CONSTRUCTION ENTRANCES TO BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE AS NEEDED.
8. CONTROLS WILL BE REMOVED AFTER THEIR CONTRIBUTING BASINS HAVE BEEN PERMANENTLY STABILIZED.

SILTATION EROSION CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL DEBRIS IS TO BE REMOVED FROM THE SITE.
3. ALLEY AND / OR STREET SHALL BE SWEEP CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED DAILY BY THE CONTRACTOR. ANY DAMAGED DEVICE OR MEASURE WILL BE REPAIRED OR REPLACED BY THE CLOSE OF DAY OR AS DIRECTED BY THE ARCHITECT.
5. ALL VEHICLES LEAVING THE SITE SHALL EXIT THROUGH THE CONSTRUCTION ENTRANCE ONLY AND SHALL BE WASHED DOWN TO REMOVE MUD FROM TIRES BEFORE ENTERING THE STREET. CONSTRUCTION ENTRANCE TO BE MAINTAINED IN GOOD WORKING CONDITIONS.
6. ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
7. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS IMMEDIATE CLEANING.
8. ALL DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE BOUNDARY NOT SHOWN TO BE PAVED SHALL BE SEEDED OR SOGGED AS PER DC SPECIFICATIONS WITHIN SEVEN DAYS OF DISTURBANCE.
9. WHEN SEDIMENT TRAP/SEDIMENT TANK HAS REACHED 80% CAPACITY, CLEAN OUT OF SAME IS REQUIRED.
10. ANY STOCKPILING, REGARDLESS OF LOCATION ON SITE SHALL BE STABILIZED WITHIN 14 DAYS AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
11. AFTER RAZE OR DEMOS, THERE IS NEED FOR GROUNDCOVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING SUCH AS SEED, SOG, PAVING, BROADCAST OR MULCH, ETC.
12. AT THE COMPLETION OF CONSTRUCTION PROJECT AND AFTER THE D.C. EROSION AND SEDIMENT CONTROL INSPECTOR APPROVAL, ALL TEMPORARY SILTATION, SEDIMENTATION AND EROSION CONTROL MEASURES AND DEVICES SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE PERMANENTLY STABILIZED.



Construction Specifications

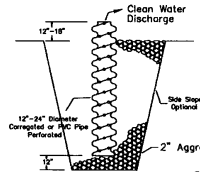
1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and turn rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 6" into the ground.
5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6' and lapped.
6. Maintenance shall be performed as needed and all bulges removed when "bulges" develop in the silt fence, or when silt reaches 30% of fence height.
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: ASTM D-4595
Tensile Modulus	20 lbs/in (min.)	Test: ASTM D-4595
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: ASTM D-5141
Filtering Efficiency	75% (min.)	Test: ASTM D-5141

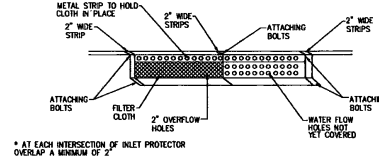
SUPER SILT FENCE (NO SCALE)

CONSTRUCTION SPECIFICATIONS:

1. PIT DIMENSIONS ARE OPTIONAL.
2. THE STANDEPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12"-24" DIAMETER CORRUGATED OR PVC PIPE.
3. A BASE OF 2" AGGREGATE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12". AFTER INSTALLING THE STANDEPIPE, THE PIT SURROUNDING THE STANDEPIPE SHOULD THEN BE BACKFILLED WITH 2" AGGREGATE.
4. THE STANDEPIPE SHOULD EXTEND 12"-18" ABOVE THE LIP OF THE PIT.
5. IF DISCHARGE WILL BE PAVED DIRECTLY TO A STORM DRAINAGE SYSTEM, THE STANDEPIPE SHOULD BE WAPPED WITH FILTER CLOTH BEFORE INSTALLATION. IF SIZES 1/2"-1 1/2" HARDWARE CLOTH MAY BE PLACED AROUND THE STANDEPIPE, PRIOR TO ATTACHING THE FILTERCLOTH THIS WILL INCREASE THE RATE OF WATER SEEPAGE INTO THE PIPE.



SUMP PIT (NOT TO SCALE)



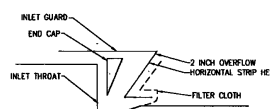
* AT EACH INTERSECTION OF INLET PROTECTOR OVERLAP A MINIMUM OF 2"

STANDARD INLET GUARD ATTACHMENT METHOD



- * THE TOP MEASUREMENT OF 7-1/2" IS SET TO PROVIDE A 2" EXTENSION FOR OVERFLOW WHILE AVOIDING BLOCKAGE OF THE MANHOLE COVER.
- * MAKE A WATERTIGHT CONNECTION ALONG THE SIDES AND BOTTOM OF THE INLET GUARD WITH THE STREET AND CURB.

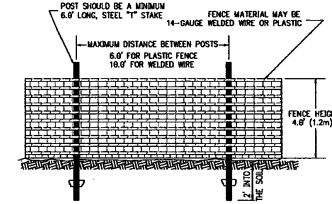
STANDARD INLET GUARD DIMENSIONS



STANDARD INLET GUARD CROSS SECTION

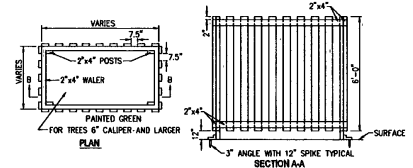
GRADE INLET GUARD

(NOT TO SCALE)



NOTE: TREE PROTECTION FENCING MUST BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCE INSTALLATION DETAIL (NOT TO SCALE)



TREE PROTECTION NOTES:

1. TREES AS SHOWN ON THE PLAN TO REMAIN SHALL BE PROTECTED AS SHOWN TO PREVENT MECHANICAL INJURY. TREE PROTECTION MEASURES SHOULD BE AS CLOSE TO THE DRIP LINE OF THE TREE AS POSSIBLE AND AS SHOWN ON THE PLAN FOR STREET TREES AT THE CURB. PROTECTION FENCING SHALL BE ERRECTED AT EDGE OF PAVING.
2. BOARDS WILL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
3. NO STORAGE OF EQUIPMENT OR CONSTRUCTION MATERIALS SHALL BE ALLOWED WITHIN TREE PROTECTION FENCING.
4. HEAVY EQUIPMENT OPERATORS WILL BE CAUTIONED TO AVOID DAMAGE TO EXISTING TREE TRUNKS AND ROOTS DURING LAND LEVELING OPERATIONS. TUNNEL UNDER ROOT SYSTEM WHEN INSTALLING UTILITY LINES, IF POSSIBLE.
5. TREE TRUNKS AND EXPOSED ROOTS AND LIMBS DAMAGED DURING EQUIPMENT OPERATIONS WILL BE CARED FOR AS PRESCRIBED BY A FORESTER OR LICENSED TREE EXPERT.
6. THE USE OF HEAVY EQUIPMENT ON ROOT SYSTEMS OF RESERVABLE TREES MUST BE AVOIDED TO PREVENT SOIL COMPACTION. ALL CONSTRUCTION SHOULD BE KEPT OUT OF THE DRIP LINE OF PROTECTED TREES. PROTECTIVE FENCING SHALL BE UTILIZED FOR TREES BEING RETAINED AND SHALL BE LOCATED AT THE DRIP LINE AND AS SHOWN ON THE PLAN.
6. DURING THE FIRST TWO SUMMERS FOLLOWING CONSTRUCTION, IT IS DESIRABLE THAT THE TREES RECEIVE ADEQUATE AMOUNTS OF WATER.

TYPICAL TREE PROTECTION FENCING (NOT TO SCALE)



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Sedimentation and Erosion Control Details

March 08, 2007

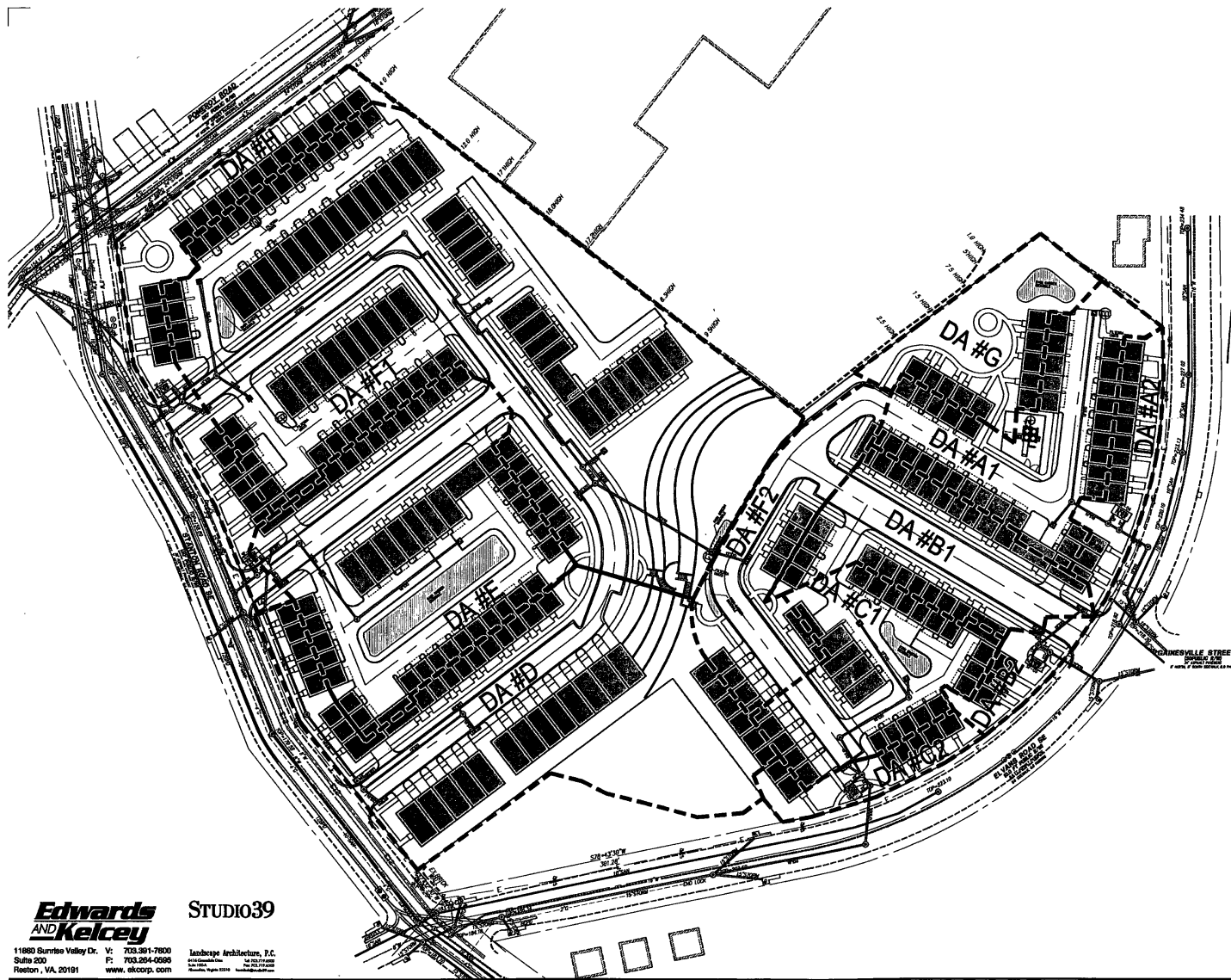
TOWN HOMES AT
STANTON SQUARE



Not To Scale

HORNING BROTHERS
HOR.026A.00G.

C.10



STORMFILTER DESIGN							
FILTER #	NAME OF DRAINAGE AREA	TOTAL AREA (AC)	IMPERVIOUS AREA			TOTAL C VALUE	REMARKS
			ROAD (AC)	ROOF & SIDEWALK (AC)	GRASS & TREE (AC)		
#1	DA #E1	2.48	0.17	0.88	0.83	0.75	
	DA #E2	0.58	0.25	0.17	0.16	0.76	
	TOTAL	3.06	1.02	1.05	0.99	0.76	
#2	DA #E	1.07	0.40	0.30	0.28	0.70	
	DA #D	1.44	0.22	0.26	0.82	0.90	
	TOTAL	2.51	0.62	0.56	1.11	0.88	
#3	DA #E1	0.40	0.15	0.16	0.07	0.85	
	DA #A1	0.55	0.21	0.22	0.12	0.82	
	TOTAL	0.95	0.36	0.38	0.19	0.86	
UNCONTROLLED AREA	DA #H	0.23	0.02	0.16	0.03	0.87	
	DA #C2	0.15	0.00	0.00	0.07	0.87	
	DA #E2	0.95	0.01	0.06	0.04	0.55	
	DA #E2	0.21	0.00	0.01	0.05	0.99	
	DA #D	0.35	0.00	0.11	0.25	0.83	
	TOTAL						

STORMFILTER DESIGN							
FILTER #	NAME OF DRAINAGE AREA	TOTAL AREA (AC)	IMPERVIOUS AREA			TOTAL C VALUE	REMARKS
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	TOTAL	0.95	0.36	0.38	0.19	0.86	
#4	DA #E1	0.40	0.15	0.16	0.07	0.85	
	DA #A1	0.55	0.21	0.22	0.12	0.82	
	TOTAL	0.95	0.36	0.38	0.19	0.86	
#5	DA #E1	0.40	0.15	0.16	0.07	0.85	
	DA #A1	0.55	0.21	0.22	0.12	0.82	
	TOTAL	0.95	0.36	0.38	0.19	0.86	

FILTER #	FLOW TO BE TREATED (CFD)	FILTER CAP (GPM)	CARTRIDGE NO. OF CARTRIDGE	RECOMMEND STORMFILTER	REMARKS
#1	0.85	272.12	15	25	PRE-CAST 3015 ALL STORMFILTERS WILL BE PROVIDED WITH A STORMWATER FLOW SPLITTER
#2	0.55	202.50	10	10	
#3	0.17	74.97	15	3	
#4	0.22	97.17	15	6	
#5	0.48	215.58	15	12	

NOTE:
 1. STORMFILTERS SHALL HAVE A MINIMUM CAPACITY OF 80% REMOVAL RATE OF TSS SUSPENDED SOLID (80% OF TSS (EXCEPTED)) AND 80% OF NUTRIENTS FOR THE RAINFALL OF 0.5" FROM PAVED AREA AND 0.3" FROM ROOF AND SIDEWALK AREAS.
 2. THE UNCONTROLLED AREA SHALL BE OVER-COMPENSATED BY THE CONTROLLED AREA AND THE OVERALL SITE POLLUTION REMOVAL RATE SHALL BE:
 TSS = 80%
 TN = 40%

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 14444 Lakeside Drive
 Suite 1000
 Reston, Virginia 20191

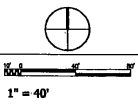
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Storm Water Management Plan

March 08, 2007

TOWN HOMES AT STANTON SQUARE

HORNING BROTHERS HOR.026A.00G.



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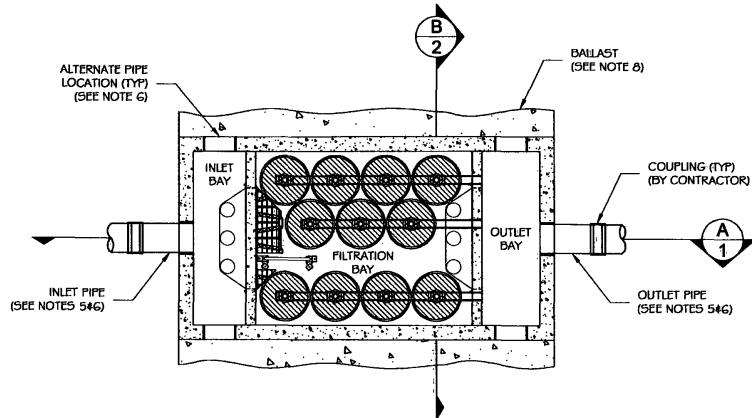


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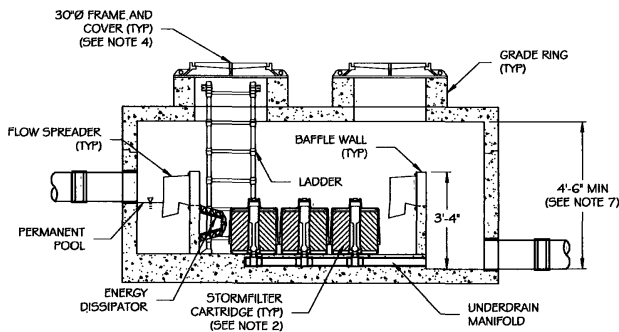
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GENERAL NOTES

- 1) STORMFILTER BY CONTECH STORMWATER SOLUTIONS; PORTLAND, OR (800) 548-4667; SCARBOROUGH, ME (877) 907-8676; ELKRIDGE, MD (866) 740-3318.
- 2) FILTER CARTRIDGE(S) TO BE SIPHON-ACTUATED AND SELF-CLEANING. STANDARD DETAIL DRAWING SHOWS MAXIMUM NUMBER OF CARTRIDGES. ACTUAL NUMBER REQUIRED TO BE SPECIFIED ON SITE PLANS OR IN DATA TABLE BELOW.
- 3) PRECAST VAULT TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C857 AND C858. DETAIL DRAWING REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.
- 4) STRUCTURE AND ACCESS COVERS TO MEET ASHTO H-20 LOAD RATING.
- 5) STORMFILTER REQUIRES 2.3 FEET OF DROP FROM INLET TO OUTLET. IF LESS DROP IS AVAILABLE, CONTACT CONTECH STORMWATER SOLUTIONS.
- 6) INLET AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. PRECAST STORMFILTER VAULT EQUIPPED WITH EITHER CORED OPENINGS OR KNOCKOUTS AT INLET AND OUTLET LOCATIONS.
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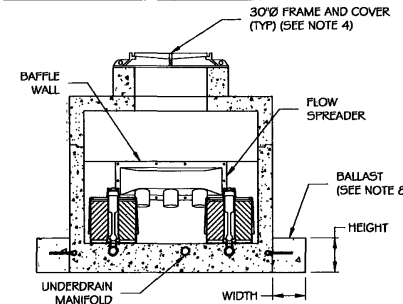
6' x 12' STORMFILTER - PLAN VIEW 1



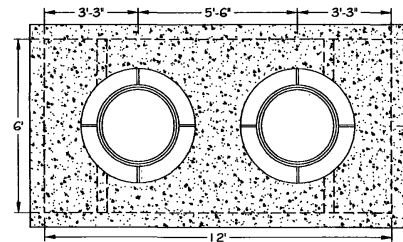
6' x 12' STORMFILTER - SECTION VIEW 1

THE STORMWATER MANAGEMENT StormFilter®
 U.S. PATENT No. 5,322,629,
 No. 5,707,527, No. 6,027,639
 No. 6,649,040, No. 5,624,576,
 AND OTHER U.S. AND FOREIGN
 PATENTS PENDING

6' x 12' PRECAST STORMFILTER
 PLAN AND SECTION VIEWS
 STANDARD DETAIL



6' x 12' STORMFILTER - SECTION VIEW 2



6' x 12' STORMFILTER - TOP VIEW 2

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6' x 12' PRECAST STORMFILTER
 TOP VIEW, SECTION VIEW AND NOTES
 STANDARD DETAIL

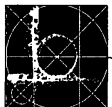
6' x 12' PRECAST STORMFILTER DATA	
STRUCTURE ID	XXX
WATER QUALITY FLOW RATE (cfs)	X.XX
PEAK FLOW RATE (cfs)	X.XX
RETURN PERIOD OF PEAK FLOW (yrs)	XXX
# OF CARTRIDGES REQUIRED	XX
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)	XX
MEDIA TYPE (CSF, PERLITE, ZPG)	XXXXX
PIPE DATA:	
INLET PIPE #1	I.E. MATERIAL DIAMETER XXX.XX" XXX XX"
INLET PIPE #2	XXX.XX" XXX XX"
OUTLET PIPE	XXX.XX" XXX XX"
RIM	
LADDER	YES/NO
ANTI-FLOTATION BALLAST	WIDTH HEIGHT XX" XX"
NOTES/SPECIAL REQUIREMENTS:	



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Storm Water Management Details
 StormFilter 6'x12'

March 08, 2007

TOWN HOMES AT
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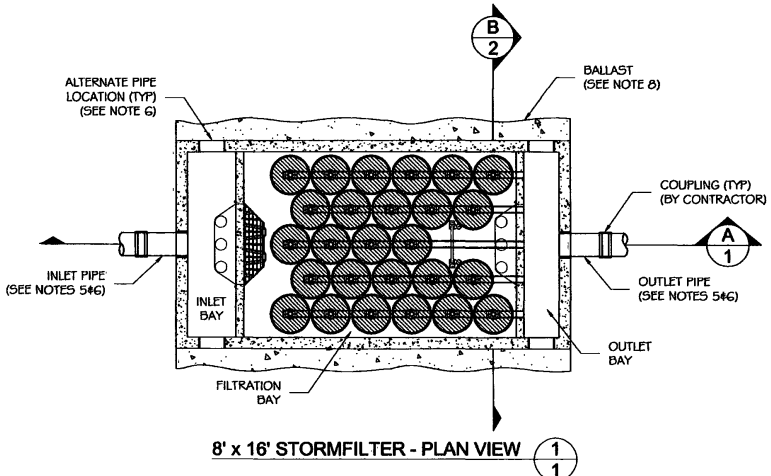


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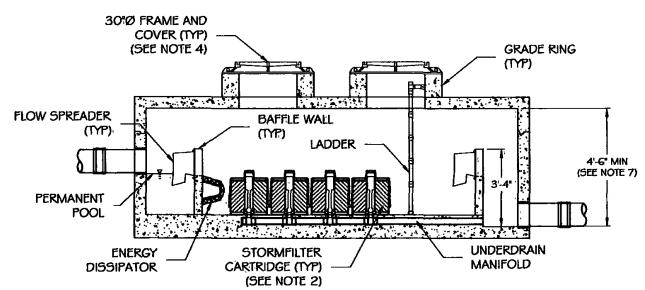
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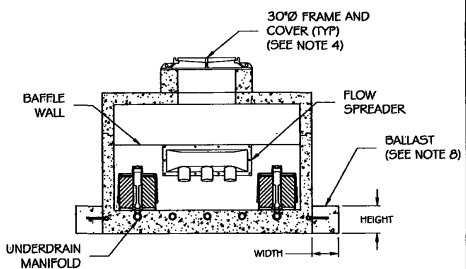
8' x 16' STORMFILTER - PLAN VIEW (1/1)



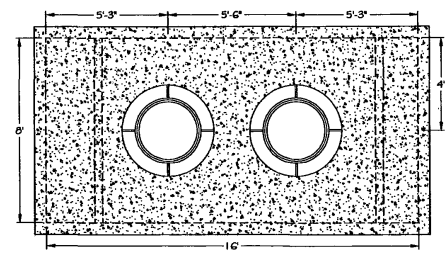
8' x 16' STORMFILTER - SECTION VIEW (A/1)

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**8' x 16' PRECAST STORMFILTER
PLAN AND SECTION VIEWS
STANDARD DETAIL**



8' x 16' STORMFILTER - SECTION VIEW (B/2)



8' x 16' STORMFILTER - TOP VIEW (1/2)

**8' x 16' PRECAST STORMFILTER
TOP AND SECTION VIEWS, NOTES AND DATA
STANDARD DETAIL**

8' x 16' PRECAST STORMFILTER DATA	
STRUCTURE ID	XXX
WATER QUALITY FLOW RATE (cfs)	X.XX
PEAK FLOW RATE (cfs)	X.XX
RETURN PERIOD OF PEAK FLOW (yrs)	XXX
# OF CARTRIDGES REQUIRED	XX
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)	XX
MEDIA TYPE (CSF, PERLITE, ZPG)	XXXXX
PIPE DATA:	I.E. MATERIAL DIAMETER
INLET PIPE #1	XXX.XX" XXX" XX"
INLET PIPE #2	XXX.XX" XXX" XX"
OUTLET PIPE	XXX.XX" XXX" XX"
RIM	
LADDER	YES/NO
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
	XX" XX"
NOTES/SPECIAL REQUIREMENTS:	

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